



ROCHE HARBOR PATTERN BOOK

San Juan Island, Washington

ROCHE HARBOR PATTERN BOOK

Prepared For

Roche Harbor Resort
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On behalf of the ROCHE HARBOR team,

WELCOME

We invite you to become part of the rich history of Roche Harbor through the purchase of property within our village.

Throughout history, people have been drawn to Roche Harbor. Native peoples of the Salish Sea used the beaches of Roche Harbor as a seasonal settlement. The protected harbor provided ready access to nearby fishing grounds rich in salmon, halibut and shellfish. This same abundant harbor attracted Royal Marine sailors from nearby English Camp, as well. With the discovery of limestone deposits in the late 19th and early 20th century, Roche Harbor evolved into a mining boomtown. Many buildings from this era survive today, including the stately Hotel de Haro.

By the late 1950s, the rich lime deposits from the earth were gone, and Roche Harbor was ready to be reborn. The visionary Tarte family acquired the property and turned an industrial ghost town into a thriving seasonal marina and resort. Rich traditions were created by generations of boating families who have gathered here year after year to share together the nightly retirement of the flags, the 4th of July celebrations, and morning doughnuts dockside.

Roche Harbor's history, fun and friendly marina culture, and beautiful natural setting, provide a truly

genuine and unique place. We recognize and celebrate these special qualities and have incorporated them into our new village. In planning this new development, we spent over five years working closely with our existing community, as well as many of the country's finest planners, architects and environmental consultants. We believe we have maintained the essence of Roche Harbor and respected its history, enhanced the amenities and comfort it provides, proudly provide this opportunity for you to build a home and become an integral part of the Harbor.

The best traditional villages and harbors are walkable, oriented to public places, have narrow roads, tightly mixed commercial and residential uses, quirky ways, and surprise views. By walking about the Harbor for your daily needs, you are likely to meet family and friends, old and new. This is the very nature of Roche Harbor's past, and our commitment to its future.

You've recognized Roche Harbor for its glorious summer and falls. As a year-round owner you'll also enjoy the quiet intimacy of winter and the awakening of spring. You've come here for the environment and we think you'll stay for the community. Welcome to Roche Harbor.

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INTRODUCTION

OVERVIEW

Roche Harbor is a traditional town on the northern shore of San Juan Island 85 miles northwest of Seattle, Washington. Once a company outpost incorporated to employ the lime industry, Roche Harbor has since become a recurring destination for boaters, vacationers, and families. Traditions and memories have been established in this storied place that inspire the master planning of three residential neighborhoods extending from its historic core. This Pattern Book establishes the image and character of these neighborhoods while embedding the intrinsic characteristics unique to the San Juan Islands into its architecture, planning, and most memorable places.

The plan for Roche Harbor is rooted in its legacy. Established in 1886, Roche Harbor’s history gives it an authenticity upheld by the environmental stewardship envisioned for its future. Principled design and development standards that protect watersheds, limit energy use, and preserve its diverse ecology are central to the neighborhoods that connect to the marina. Through such standards, the natural beauty that has been cause for generations to root past and future traditions here will be enhanced and sustained.

Over time, Roche Harbor has developed a keen sense of place and rich architectural heritage. The new neighborhoods will extend this unique heritage through distinct houses and memorable places for both new and old traditions to take hold.



Hotel de Haro at Roche Harbor



Company Store

Travel Time to Roche Harbor

Origin	Air	Car/ Ferry
Seattle	45 mins	3.5 hrs
Port Angeles	30 mins	3.9 hrs
Bellingham	15 mins	2.75 hrs
Port Townsend	30 mins	3.5 hrs
Victoria	20 mins	2.25 hrs
Anacortes	15 mins	2.0 hrs
Vancouver	1.0 hr	3.45 hrs



Roche Harbor Restaurant



Nearby Friday Harbor



Our Lady of Good Voyage



The San Juan Islands

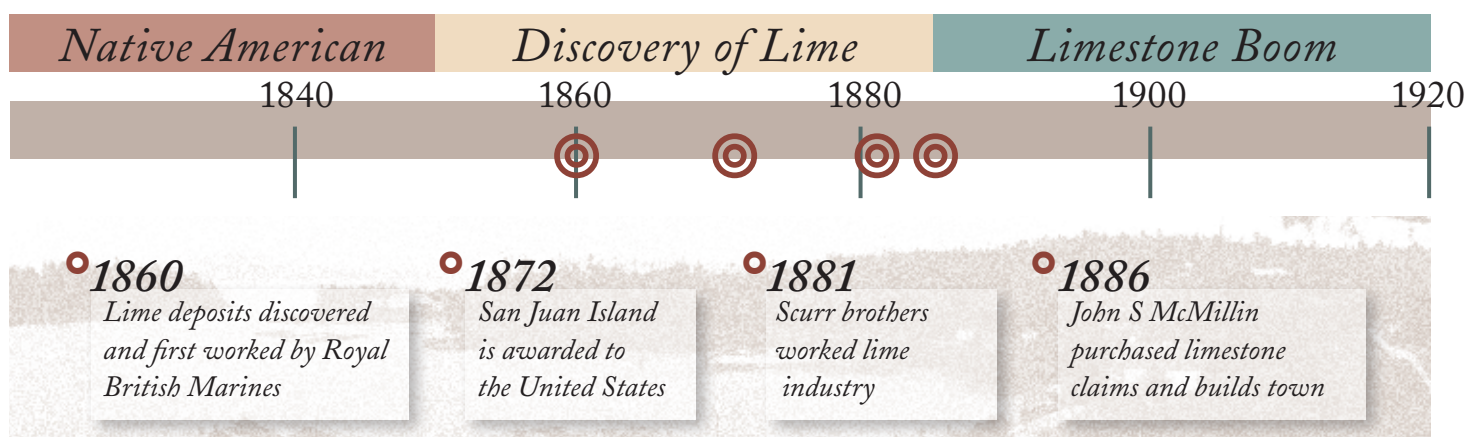
EVOLUTION OF A HARBOR TOWN

Roche Harbor is part of a distinguished family of traditional harbor towns in America, sharing with its counterparts an evolution from industrial roots to being a destination for families and boaters. While many significant moments in its past exist, three distinct snapshots establish the foundation for its future.

A naturally protected harbor rich in limestone, Roche Harbor was an ideal location for the lime industry to take hold. In the height of the industrial revolution, Roche Harbor established itself as the largest producer of lime west of the Mississippi River. The economic boom generated the need for hotels, houses, a store, and farming in the form of a company town with 800 inhabitants. After years of vitality, however, the Great Depression caused the industry and the town dependent on it to shrink.

The rebirth of Roche Harbor began in 1956 with the purchase of the property by the Tarte family, avid pleasure boaters, who had for this storied place a grand vision. They refurbished original buildings, reopened stores, and built the marina for recreational boaters. Recurring visits by families had transitioned Roche Harbor from a small outpost into a destination resort.

As recurring visits became traditions for families and generations, Roche Harbor gradually evolved from a resort to a town with new residents and commerce. Under the guidance of owners Saltchuk Resources, Inc. and Rich Komen, Roche Harbor's incremental expansion continues today within an environmental framework that allows the community and its traditions to sustainably grow.





COMPANY TOWN 1886–1956

- » Hotel De Haro built by John S. McMillin.
- » Cluster of cottage housing constructed for the workers.
- » As the lime industry expands, two batteries built containing a total of 13 kilns.
- » Rail constructed to connect the battery kilns to the quarry.
- » General store opened to provide goods for the worker population.
- » John S. McMillin builds his house.
- » Population peaks at 800



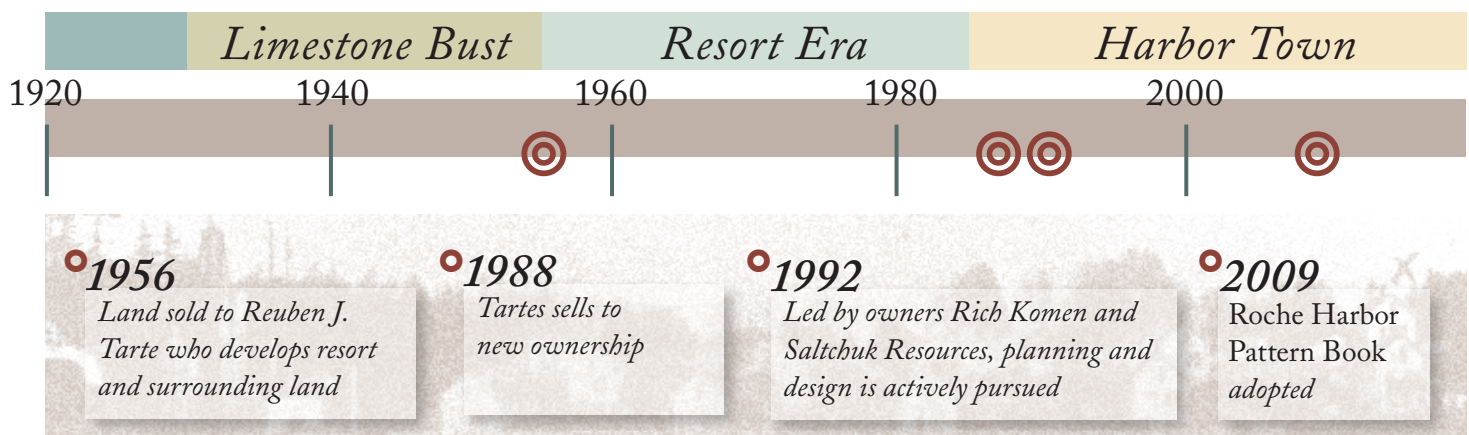
DESTINATION RESORT 1956–1988

- » New owner, Reuben J. Tarte and family, restore many of the buildings including the Hotel De Haro and McMillin's home converted to a restaurant. Much of the furniture is salvaged for reuse and a resort town is created.
- » Two rows of cottages are restored and the two rows closest to the marina are demolished.
- » Pool and tennis courts constructed
- » Westpoint and Lagoon Condos completed



MARINA VILLAGE ESTABLISHED 1988

- » Marina expands to 387 slips.
- » Village grows to include De Haro Town Homes and cottages on the northern side of the green.
- » Quarryman Hall is completed, housing a new hotel, spa and retail
- » Woodlands address begins construction



COMPANY TOWN | 1886–1956

While the British Marines were the first to discover lime deposits on the Roche Harbor hillside, John S. McMillin was the industrialist who built a fortune and town out of its deposits. McMillin understood the importance of the a deep water harbor next to the abundance of limestone. This combination made mining, processing and transport an easier operation due to the downhill gravity feed of the limestone into the kilns on the water's edge. The 800 workers who served the Tacoma Lime and Cement Company at Roche Harbor included a Japanese community, local homesteaders, and hard laboring men and their families. All were paid in company script redeemable at the Company Store. This small Island community helped fuel and drive the industrial revolution.

As an industrialist McMillin, enjoyed the pleasures of the late Victorian era. He hosted large banquets on a decorated barge for guests and dignitaries. Bands played and marched on Independence Day, and beautiful formal gardens were planted between his water front home and wharf warehouses. The Hotel De Haro was built to accommodate friends and family. As a staunch Republican, he hosted President Teddy Roosevelt at Roche Harbor and attended the inauguration of President Harding. All of this came to a halt during the Great Depression. Business quickly dwindled to a fraction of what it was in the early part of the century. The McMillins hung on to the business through these times, but it never fully recovered. John had mined in a manner that was easy and economical, but that decimated the landscape and failed to anticipate the future. The town became vacant by the 1950s.



Roche Harbor's original Lime Kilns



John S. McMillin in a Roche Harbor Lime Co. information booth



Street scene in front of the de Haro Hotel



Tacoma Trading Company Truck carrying dozens of barrels of lime



Site of the Roche Harbor Lime Plant



Several rows of worker cottages stand amidst bare, deforested hills

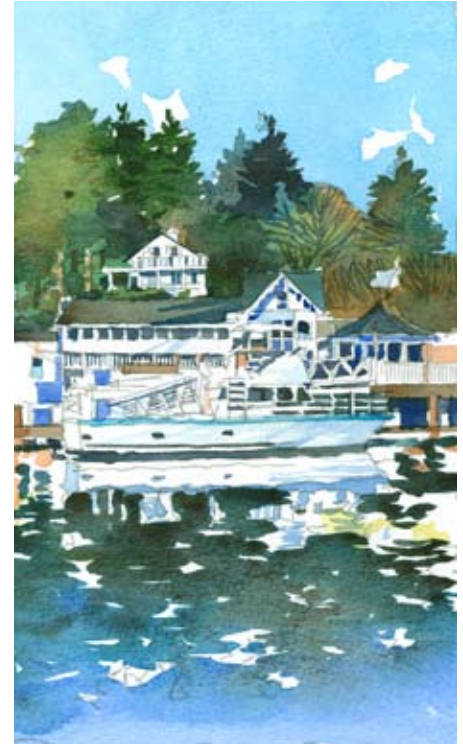


Historic Hotel de Haro and Roche Harbor Pier

DESTINATION RESORT | 1956–1988

The harbor ‘ghost town’ remained a magnificent setting in the early 1950s, tucked between and wonderfully protected by Henry Island and Pearl Island. Picturesque white buildings calmly sat on the hillsides. This location was a common stop for Reuben Tarte who enjoyed boating in the San Juan Islands and saw the need for a resort marina here where boaters could gather and spend time on their boats and enjoy all the amenities of a land-based hotel. In 1956, Reuben bought Roche Harbor from Paul McMillin, consisting of 4000 acres and developed the only *Boatel* in the San Juan Islands. The family restored the existing buildings and gave them new life as restaurants and shops. They built docks, a swimming pool and airfield. In 1960, on New Year’s Eve, they reopened the historic Hotel De Haro. A new era was born.

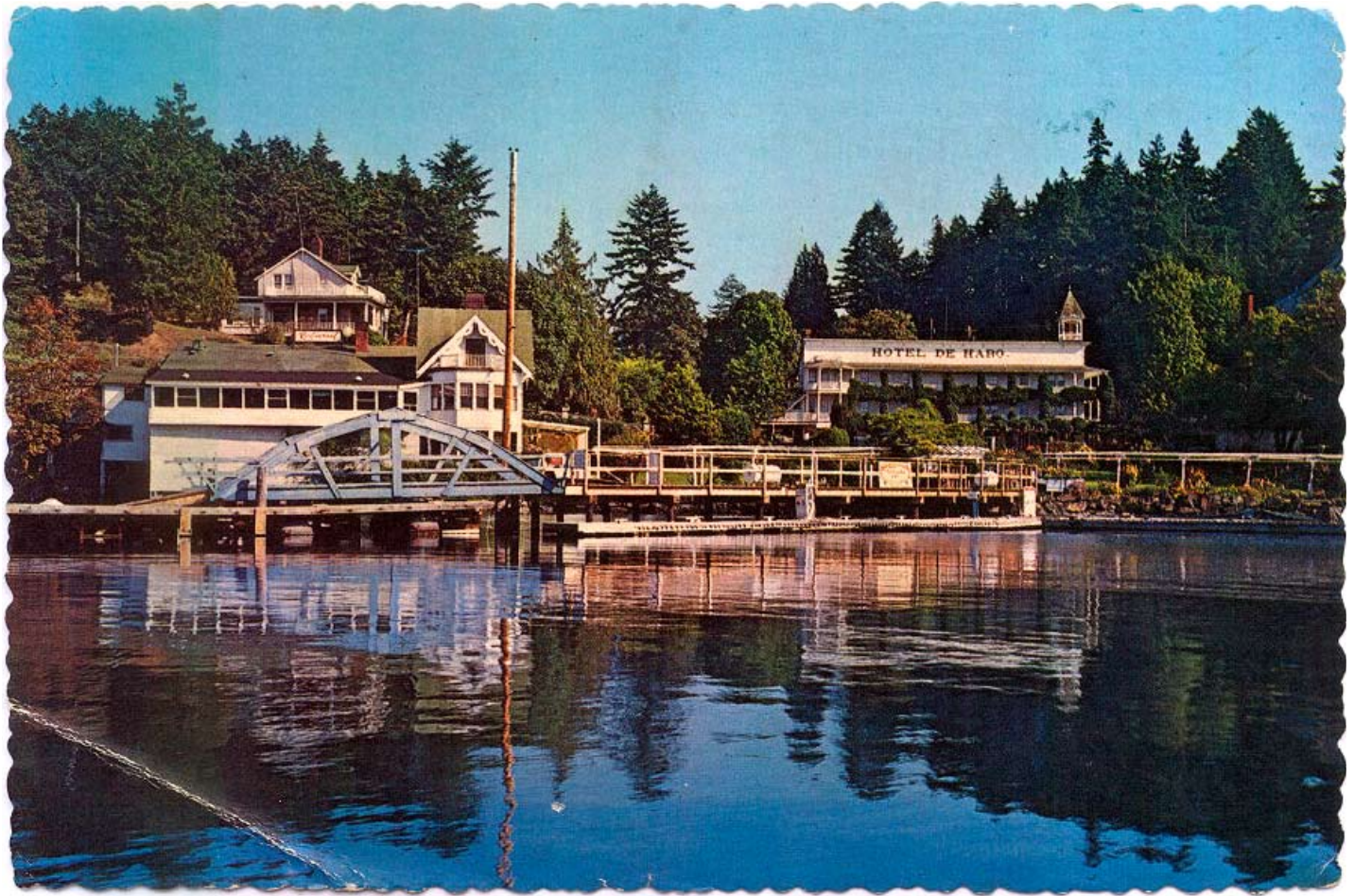
The Tartes embraced a fun, vacation resort attitude that has defined Roche Harbor to this day. They encouraged gatherings on boats and docks, established traditions in the resort and with the families and friends that arrived each year. Each evening between Memorial Day and Labor Day, the flags of The United States, Canada and Great Britain are lowered at sunset with a ceremony that has continued unbroken since May of 1956. Over time, children have grown, married and brought their children to this special place.



Roche Harbor Waterfront Resort



Roche Harbor docks in the 1960s



Roche Harbor's first postcard after the construction of the marina



Life at the resort during the 1960s

MARINA VILLAGE | ESTABLISHED 1988

Roche Harbor, through the 1980s, continued to be a mainstay in the memories and traditions of past and future generations. As parents and children returned to their summer retreat, an increasing number became interested in owning a piece of the legacy they helped form. Demand increased for marina slips and home sites. In 1988, the planning process began for how to reposition Roche Harbor as a complete town from simply a destination resort.

Soon after, the Roche Harbor Marina was expanded and improved to accommodate 387 boat slips with wide, wood-plank docks and increased level of services. The water front was improved and restored, making it suitable for launching kayaks and other recreational activities. The expansion has allowed more visitors to come, stay, and vacation at Roche Harbor.

Like other marinas, Roche Harbor has grown incrementally through a diverse history. This organic growth gives it a patina that only time can afford while allowing new and future growth, occurring at the same pace, to seamlessly fit in and enrich the townscape. By slowly and deliberately expanding to include restaurants, an additional hotel, and the beginnings of adjacent neighborhoods, the settlement has preserved its richness while adding to its assets.



Roche Harbor Marina



Roche Harbor Marina



Restored Roche Harbor Lime and Cement Company building located on the pier



The historic Hotel de Haro and the Quarryman Hall frame a view down to the marina



Cottages on the Green



Roche Harbor Marina



Roche Harbor's trails offer many scenic walking, hiking, and biking opportunities



Roche Harbor's local fisherman and sea farmers provide fresh, authentic Northwest seafood



Traditional colors ceremony at sunset

A HARBOR TOWN IN NATURE

LOW-IMPACT DEVELOPMENT

The future of Roche Harbor builds on principles of place, appropriateness of scale, and stewardship of the land. Expansion of up to 250 residences will occur over the next ten to twenty years. Roche Harbor's growth is planned in accordance with the *Washington State Growth Management Plan* and the *San Juan County Master Plan*. A common vision for a town that responds sensitively to the land compliments a desire to maintain a traditional neighborhood character and scale.

Roche Harbor has proven its dedication to responsible growth by adopting Low-impact development (LID) and sustainable design principles. Traditional community patterns on the island predate extensive automobile use and created walkable, traditional places. Today Roche Harbor reinforces this sense of place through narrow streets, human-scaled houses, sensitive clearing and grading, and dedicated open space. Over 40 percent of the 177-acre development site will be left as open space.

The design team is implementing LID principles through integrated master planning and sustainable stormwater management practices. Roche Harbor strives to have rain gardens and bioretention; water efficient landscaping with native species; compost-amended soil; porous surfaces and pavements; and rain-water catchment zones. The integration of these strategies forms the core of the sustainable ethic in the town.

ROCHE HARBOR ENVIRONMENTAL PRINCIPLES

- » Stewardship at all scales
- » Lower lifetime costs for owner
- » Protect watersheds and habitats
- » Conserve energy and resources
- » Dedicated open space corridors
- » Pedestrian-friendly environment

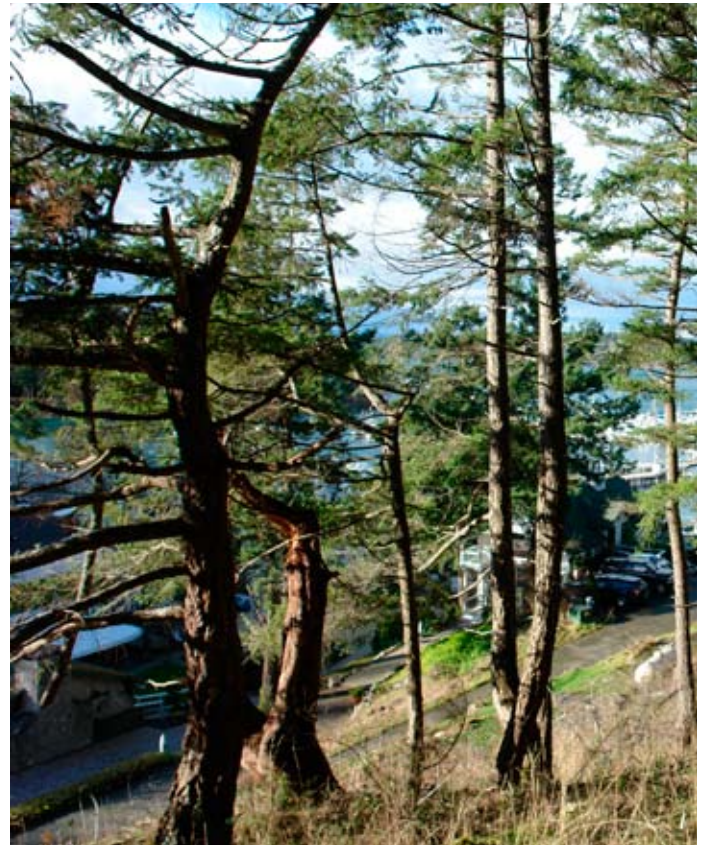


Roche Harbor's de Haro Townhouses





Roche Harbor Open Space and Trail Framework



Roche Harbor Hillside



McMillin Drive is an example of Roche Harbor's low-impact streets.

LOW-IMPACT DEVELOPMENT STRATEGIES

- » Narrow streets
- » Porous surfaces and pavement
- » On-street parking
- » Pedestrian and bike trails
- » Rain gardens (bioretention)
- » Compost-amended soil
- » Water-efficient landscaping

HOW TO USE THE PATTERN BOOK

THE IMPORTANCE OF BUILDING A NEIGHBORLY HOUSE

The Roche Harbor Pattern Book serves as a guide for owners and their architects to implement a house that is responsive to its context and enriches the town. Each house is, without exception, a reflection of the much larger whole and derives its value from its ability to capitalize on its relationship to its neighbors and the natural environment. To help guide this understanding, this Pattern Book is organized in two primary sections:

- » *Community Patterns* define the standards for each of the neighborhoods. This includes establishing criteria for the Roche Harbor neighborhoods, distinct addresses, and individual lots.
- » *Architectural Patterns* reinforce the architectural heritage and language for the architect and owner to use as inspiration for and the building of a Roche Harbor house.

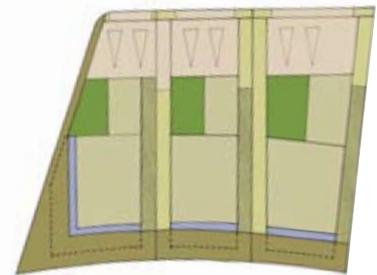
The Pattern Book is designed to be used in the following six-step process:

STEP 1: IDENTIFY THE APPROPRIATE LOT TYPE AND CRITERIA

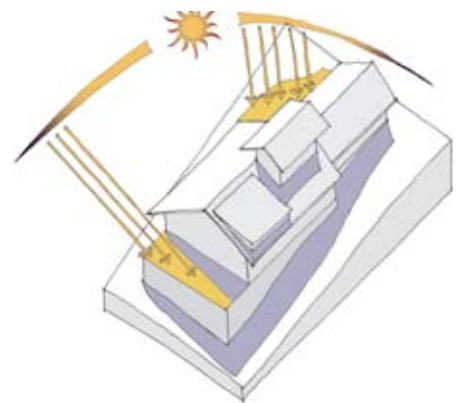
In a pre-design meeting with the owner, the owner's architect, and the Roche Harbor Town Architect, determine the applicable lot criteria. This includes understanding the lot's unique place in a neighborhood, its role in making a specific address, and the opportunities presented by the lot's characteristics. The Community Patterns section of this Pattern Book establishes the image and character of each neighborhood and address as well as the critical dimensions for each lot type. A lot matrix in the appendix contains lot-specific criteria intended to enhance the value of each lot and the neighborhood.

STEP 2: ESTABLISH APPLICABLE ENVIRONMENTAL STANDARDS

As part of the initial design concept, illustrate the proposed house's ability to capture views, access sun exposure, and recognize storm water management in supporting existing vegetation on the lot while preserving the same for the neighborhood. Environmental performance standards have been established for each neighborhood for each participating lot to meet or exceed. Exceptional criteria are located in the lot matrix in the appendix.



STEP 1: Lot zones and setbacks



STEP 2: Home designed and oriented in response to its environmental context

STEP 3: ARRANGE ELEMENTS OF THE HOUSE

Ensure that the design concept is responding to both the lot and environmental criteria. Arrange the house's main body, wings and porches such that the potential of the site is reached while not negatively impacting a neighboring lot's ability to reach its own. The design concept is anticipated to be communicated in either a hand drawn or computer drawn diagram set.

STEP 4: SELECT MAIN BODY MASSING AND SECONDARY ELEMENTS

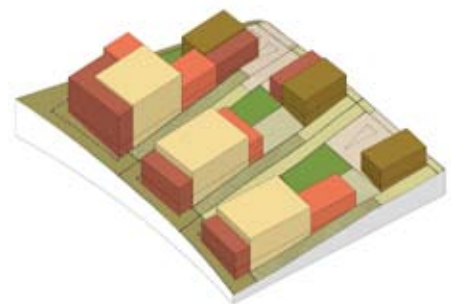
After the initial concept is approved, use the Architectural Patterns section of the Pattern Book to select an approved massing type and appropriate secondary elements. These elements include but are not limited to wings, porches, terraces, garages, dormer and other special types of window systems, towers, and chimneys. In some cases, lot-specific massing types are identified in the lot matrix located in the appendix.

STEP 5: FACADE COMPOSITION, DETAILS, MATERIALS AND COLOR

Using the massing established in Step 4, compose windows, doors, and architectural details. The Architectural Patterns section of the Pattern Book identifies select arrangements and components to be used as a basis for design development and innovation. The Roche Harbor material and color palette at the end of Architectural Patterns sets an approach to determining the materials and color schemes of the house. Hand drawn or computer drawn site plan(s), site section(s), floor plans and elevations are to be reviewed with and approved by the town architect prior to proceeding to design development.

STEP 6: INTEGRATE A COMPREHENSIVE LANDSCAPE PLAN

In the courtyards, terraces, and other spaces located in and around the house, work with a landscape architect to set appropriate plant materials, irrigation strategies, pavers, and garden elements that contribute to the streetscape and enrich the livability of the house. Utilize the existing vegetation whenever possible to help frame views and allow for sun access



STEP 3: Elements of the House



STEP 4: Massing and secondary elements



STEP 5: Facade composition



COMMUNITY PATTERNS

ROCHE HARBOR NEIGHBORHOODS

Roche Harbor is composed of neighborhoods that are connected to a historic core and marina. Designed and built in the tradition of the best harbor towns in the region and on both American coasts, Roche Harbor is a pedestrian-friendly, human-scaled community structured around proven methods of environmental sustainability.

Each of the Roche Harbor neighborhoods have specific characteristics and relationships to their setting that provide a diverse range of housing choices while sharing common links to the marina, commercial core, and amenities. Within each neighborhood exist several distinct addresses each unified around an identifiable common public space or street.

Dedicated open space and commons connect the individual neighborhoods to each other and to the marina. This area is a natural landscape of trails, wildlife, and view corridors.



Sample Neighborhood Spread



Roche Harbor Cottages on the Green Address



View down McMillin Drive towards the marina



The Roche Harbor company store



Roche Harbor Neighborhood Plan

THE VILLAGE NORTHERN GARDENS HIGHLANDS SOUTHERN VALLEY

NEIGHBORHOOD ENVIRONMENTAL STANDARDS

The neighborhoods of Roche Harbor are set in a diverse landscape and topography that requires a wide range of environmentally responsive strategies. Specifically, viewsheds, access to sunlight and storm water management that supports native vegetation are the three primary environmental conditions that must be met in early phases of house design. Doing so will ensure maximum value for the individual house but also permit the potential of neighboring lots be realized.

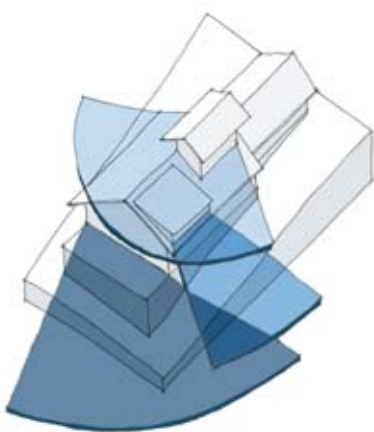
Sunlight access is a significant design factor given in this region. Lots that reach high enough on the southern slopes will be able to go after afternoon sun with strategic placement of outdoor space. Similarly, view access must be carefully scripted in the design of a Roche Harbor residence. View corridors are of paramount importance when considering placement and scale of vertical massing. The location of terraces, porches, and windows will also want to maximize the views toward the addressed street or open space and to the harbor.

Storm water management is particularly important to prevent erosion and minimize the off-site costs of moving and retaining the runoff. Porous paving materials, innovative approaches to irrigation, and on-site retention are all considered critical elements to effectively managing storm water. When designed together, these strategies have shown to deliver substantial financial savings for the owner.

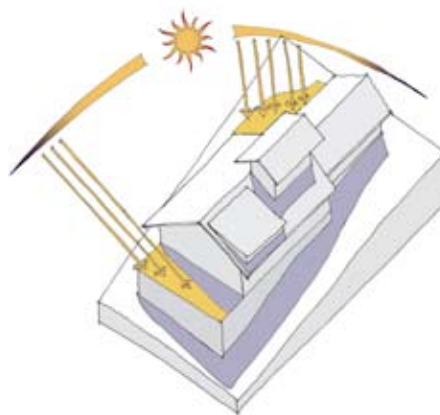


NEIGHBORHOOD STRATEGIES

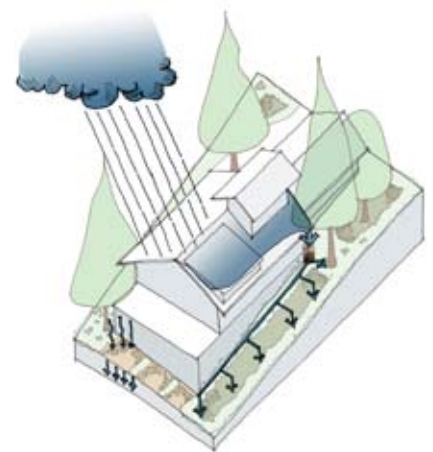
- » Protect viewsheds through building placement on the lot and use slopes to protect and craft views
- » Maximize solar access
- » Adopt sustainable stormwater management practices within the neighborhood with an integrated drainage plan and raingardens



Maximize views



Capitalize on solar access

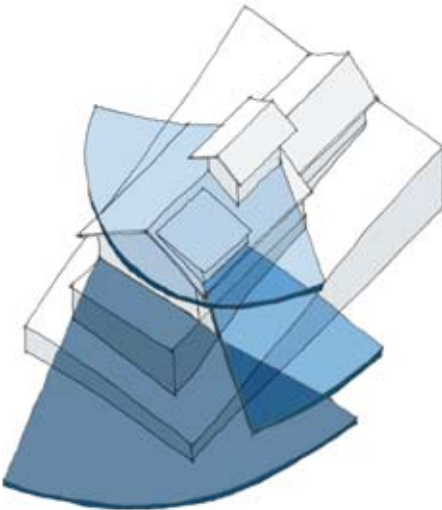


Sustainable storm water management

VIEWSHEDS AND SLOPE

Residences in Roche Harbor neighborhoods sit on a variety of slope conditions. In the Village, most residences will have view access to the water. Setbacks have been established to optimize views where possible.

Special care must also be given to the selective clearing of trees to permit views and shield homes from visually disrupting the hillsides. Strategically protecting trees will also stabilize hillsides and reduce soil erosion. Through careful selection of removed trees, both horizontally and vertically, views are enhanced and the hillside protected.



- PORCH/TERRACE VIEWS
- VERTICAL ELEMENT VIEWS

Maximize views on porches, terraces, and vertical elements such as towers and dormers.

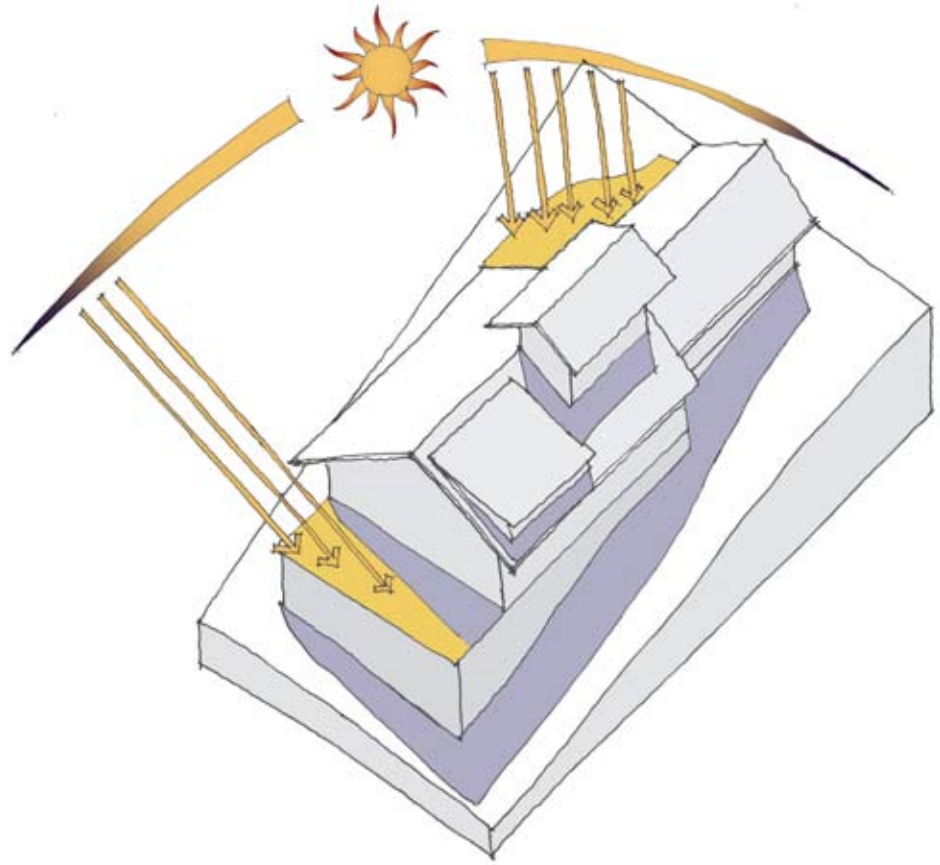


Selective clearing of trees to increase the viewshed while minimizing deforestation

SOLAR ACCESS

Premium outdoor living space on lots in Roche Harbor are those that have maximum access to sunlight. North-eastern sides of lots generally have the best morning sun access, while southern and western exposures generally offer the best afternoon sun.

Terraces and other uncovered outdoor living spaces should be oriented in relation to the house's main body to have access to the sun. Openings from outdoor to indoor spaces are also optimal at these locations to allow the deepest penetration of natural light into the house, reducing the reliance on artificial sources.



Outdoor living spaces must be oriented to the sun's path at multiple times in the day



Porches and courtyards shall be oriented to maximize sun access.

WATER MANAGEMENT

The Roche Harbor stormwater management plan is integrated with its Low-Impact Development master plan.

Dramatic savings in both site development costs and individual home owner investment can be achieved through innovative reuse of storm water. Catch basins and porous surface treatments can be used both to hold and recharge the ground water, allowing for minimal, if any, added irrigation for landscape.

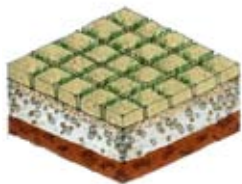
Xeriscaping and other low-water landscapes reduce potable water demand and lower water expenses.



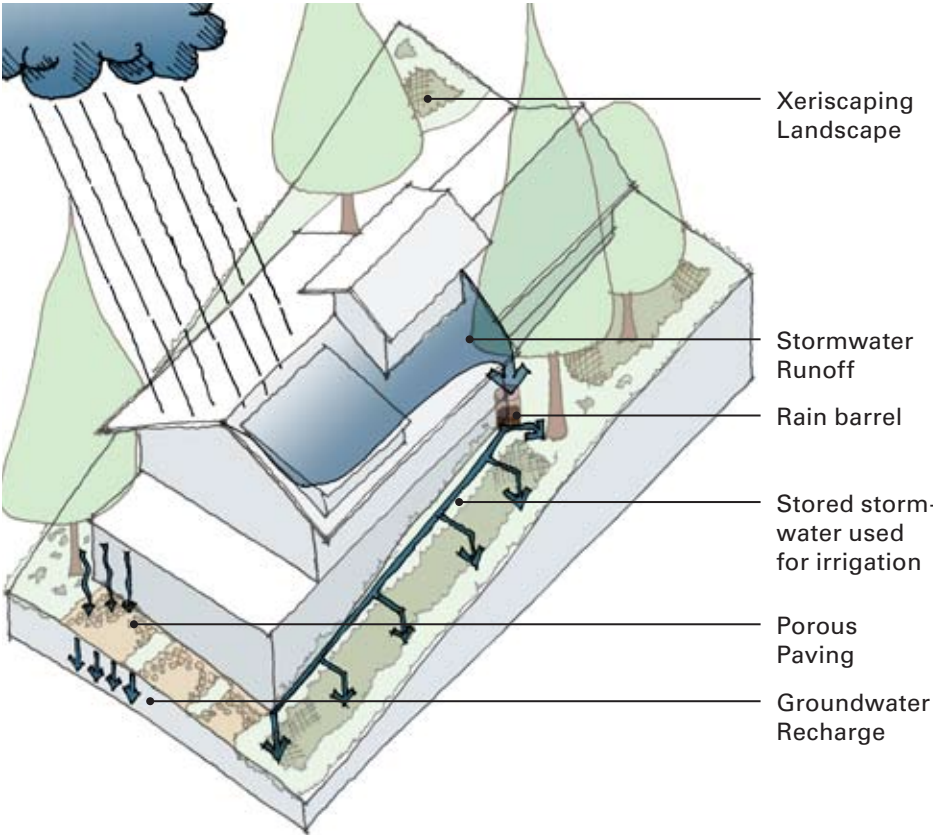
Porous Pavers



Example of a rain barrel used to store rain water for irrigation.



Porous pavers section



Sustainable storm water management

THE VILLAGE

The Village is the core of Roche Harbor, built around the activity and significance of the marina. Townhomes, cottages, and single family homes come together with restaurants, the docks, and hotels in a vibrant mix of town life.

Six addresses make up The Village. The first is the Marina, which consists of the active waterfront, the commercial core, attached residential units, and hotels. Extending east along McMillin Drive are the Cottages on the Green, The Village's second address. The cottages are oriented around a formal green that overlooks the harbor. Up the southern slope from the cottages is Doc Capron Lane, a hillside route identified with a narrow street framed by walls, carriage units, and terraces and porches stepping up the hill. The easternmost address in The Village is The Woodlands, where cottages line intimate pedestrian walks. Off Ada's Alley atop the southern hill is Captain's Row, an exclusive overlook with commanding views of the harbor. Finally, Battery Row sits perched into the hillside above Reuben Memorial Drive directly south of the Marina.





The Village Illustrative Plan



The six Village Addresses

- 1 MARINA
- 2 COTTAGES ON THE GREEN
- 3 WOODLANDS
- 4 DOC CAPRON LANE
- 5 CAPTAIN'S ROW
- 6 BATTERY ROW

MARINA

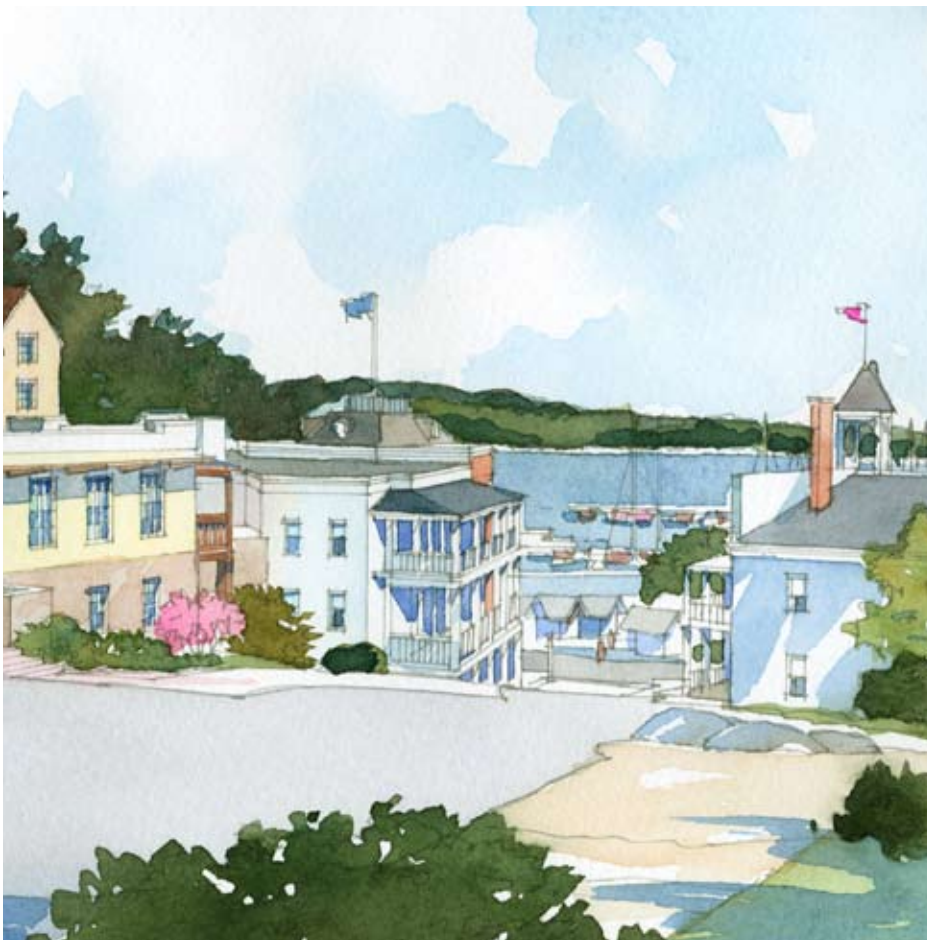
As its original settlement, The Marina at Roche Harbor is the center of its cultural and social rituals. From watching boats to witnessing the presentation of the colors, this waterfront address gives Roche Harbor its vibrance and vitality. Boaters, vacationers, and families come here to partake both as observers and participants in daily and yearly traditions as all ages animate the restaurants, hotels, and gardens.

The Marina sits at the foot of McMillin Drive, at the intersection with Reuben Memorial Drive. In addition to the retail and marina, several other uses serve to enrich this town center. Artist pavilions, a coffee and ice cream stand, a company store, a chapel, and centrally located bocce ball courts converge to form the hub of activity at Roche Harbor. Attached living, townhouses, and two hotels offer a wide range of accommodations and tenure in close proximity.



ESSENTIAL ELEMENTS

- » Active waterfront and docks
- » Retail core of Roche Harbor
- » Mixed-use
- » Historic heart of the community and its traditions
- » Entertainment center
- » Formal historic gardens



View down McMillin Drive



The Marina Illustrative Plan



The Docks







COTTAGES ON THE GREEN

The Cottages on the Green is one of Roche Harbor's first residential addresses. Moderately-scaled houses with one and two-story porches frame the approach to The Marina below along McMillin Drive and look out over a formal, tiered green. The porches offer a pleasant way to look out to the green and water while engaging the street to casually watch passer-bys. The green is commonly used for throwing frisbees between friends and family members or as a restful location to sit and take in the view over The Marina and out to the harbor.

The houses that make up The Cottages on the Green each have views to the water through the curving geometry of the green as well as being able to take advantage of the rising topography to look over downhill neighbors. The consistency of porches addressing the space is modulated by dormers and other vertical elements that further orient the house toward the water and provide secondary views.



Cottages on the Green

ESSENTIAL ELEMENTS

- » Porches facing the green
- » Clear sense of privacy in courtyards and rear yards
- » Marina views and proximity
- » Family-oriented



Cottages on the Green Illustrative Plan



Section through the Cottages on the Green





THE WOODLANDS

The Woodlands is Roche Harbor's first hilltop address. Surrounded by common space, this distinct enclave enjoys excellent connectivity to trails and wildlife while taking advantage of a short 3-minute walk to the Marina.

Winding through The Woodlands is an intimate, cobblestone walk. This pedestrian scale is reinforced by cottage houses, each with a porch and landscaping addressing the path. The Woodlands' central walk also serves as the trail head into the Roche Harbor trail network, linking residents to the Marina, the pool area, and the airstrip. A hilltop lookout grants spectacular views of the harbor and Marina below.

Each cottage lot extends the privacy afforded it by the Woodlands' protected location with landscaped courts and bright sunrooms. These serve as premium locations for family events and quiet relaxation. Woodlands' cottages reflect the timeless architectural tradition of the Roche Harbor Picturesque and are painted in a variety of colors that complement its wooded setting.



Houses in the Woodlands commonly have porches facing the pedestrian path

ESSENTIAL ELEMENTS

- » Sunny hilltop district nestled in open space preserve with close proximity to trail system
- » Cottage house scale
- » Quiet address while only a three-minute walk to the activity of the Marina
- » Cobblestone pedestrian paths



The Woodlands Illustrative Plan



Woodlands houses are nestled in the trees

DOC CAPRON LANE

Doc Capron Lane is located uphill to the south of the Cottages on the Green. Named after the Roche Harbor Lime Company's accomplished physician and politician, this address is lined with terrace lots and garden walls with terraces, balconies, and porches perched above. It extends towards the harbor where it connects to the trestle trail network.

The Lane is a well-used route to the harbor for pedestrians from the Highlands and upper Village houses. This route will be a popular route for an evening stroll that overlooks the harbor while heading down to the trestle trail or to the marina for dinner.

Houses along the uphill slope will be of varying scale, all having outdoor living spaces overlooking the lane and out to the harbor. This will be their primary address, with a second access point off Ada's Alley atop the hill.



Doc Capron Lane

ESSENTIAL ELEMENTS

- » Narrow lane
- » Eclectic frontage
- » Popular path to marina
- » Views of village
- » Connection to trestle trail
- » Elevated terraces and balconies
- » Walls, fences, gates, and stairs



Doc Capron Lane Illustrative Plan



Section through Doc Capron Lane





CAPTAIN'S ROW

Captain's Row is one of the great iconic images of Roche Harbor. This prominent address commands views of the harbor and the marina below and is the setting of the town's premium and most exclusive residences. From the harbor, the broad porches and distinctive massing of Captain's Row will serve as a backdrop to the historic core.

Captain's Row residences have several essential characteristics. Given its presence on the harbor and access from Ada's Alley and Roche Harbor Road, houses here will truly have "two fronts:" large porches facing the water on one side, and the other to a sunny parking court that greets the resident and guests. The parking court is delineated from the public by a one or two-story guest house that sits atop the garage. These ancillary units have windows and an entry off the street with no garage doors facing the public right-of-way. Garden walls and, in some cases, gates clearly provide privacy and define public space.

Access to the trestle trail network is fronted to the north of the address in a garden walk from Ada's Alley to the bluff's edge and down to the trail.



Captain's Row

ESSENTIAL ELEMENTS

- » Commanding views of harbor
- » Guest house/carriage house
- » Grand manor houses
- » Connected to Marina via trails
- » Porches overlooking the marina
- » 'Two fronts' to each house
- » Parking courts



Captain's Row Illustrative Plan



Section through Captain's Row and the Trestle Trail



Views from Captain's Row





BATTERY ROW

Battery Row is a unique hillside address uphill of Reuben Memorial Drive with direct access to the activity of the Marina via the Trestle Trail, which winds through the address. Loft units and hillside single family lots frame the trail and overlook the harbor. Trail connections between buildings provide access down to the waterfront and up to the Highlands. Still in its early planning stages, Battery Row will be fully presented in a subsequent edition of this Pattern Book.



Historic kilns line Battery Row



Battery Row Illustrative Plan



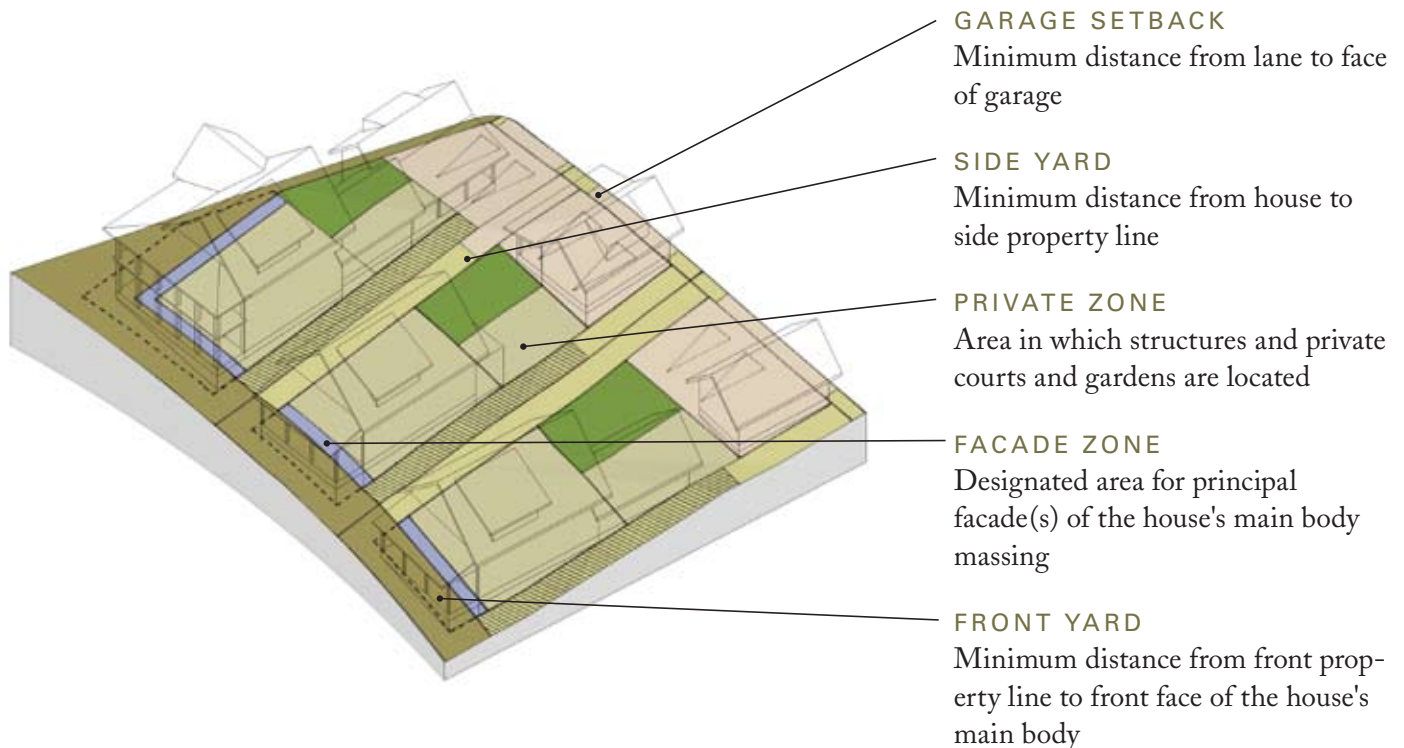
Battery Row's location next to the harbor made it an ideal location for the lime industry and will make a distinct waterfront residential address.

ROCHE HARBOR LOT TYPES

The town of Roche Harbor offers a variety of lot types, each with distinct characteristics and relationships to the street. Within each type of lot, several different house configurations exist that further diversify the design possibilities for individual buyers.

Roche Harbor lots are designed to allow flexibility and provide a level of predictability along streets and open spaces. Criteria are established that govern the location of the house's main volume; the degree to which porches can encroach on setbacks and yards; and where ancillary masses, such as wings, towers, and garages may sit.

The requirements and guidelines in the Roche Harbor Lot Types section of this Pattern Book apply generally to all lots of that type in the plan. In many cases, lot-specific criteria is required beyond what is established by the particular lot type and landmark houses are identified where a specific opportunity exists. This additional information is found in the Lot Matrix in the Appendix.

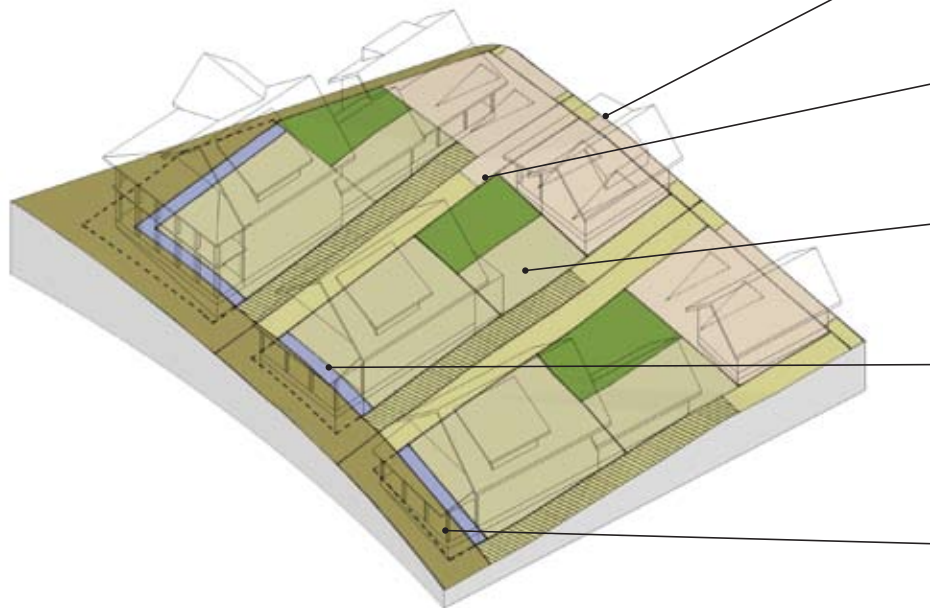


ROCHE HARBOR LOT TYPES

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GARAGE SETBACK

Minimum distance from lane to face of garage

SIDE YARD

Minimum distance from house to side property line

PRIVATE ZONE

Area in which structures and private courts and gardens are located

FACADE ZONE

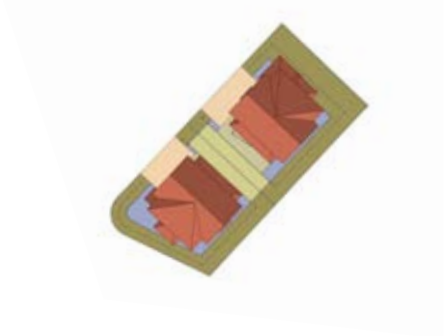
Designated area for principal facade(s) of the house's main body massing

FRONT YARD

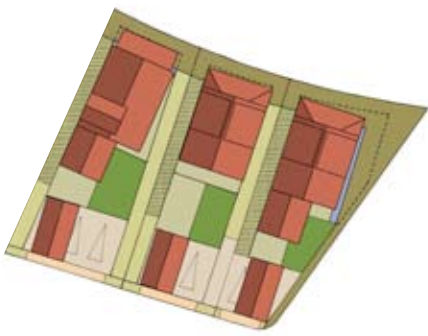
Minimum distance from front property line to front face of the house's main body



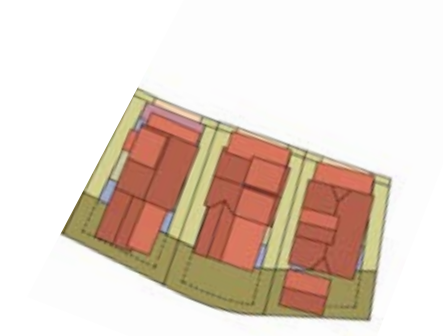
Village Lotting Plan



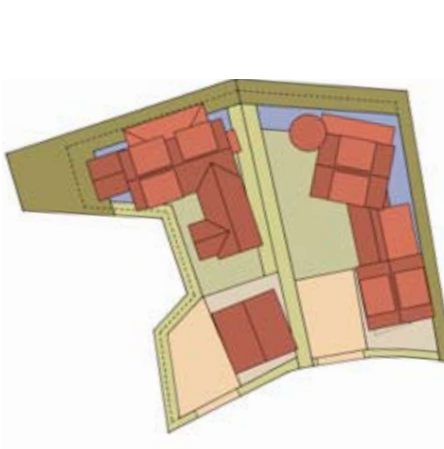
Carriage Lots



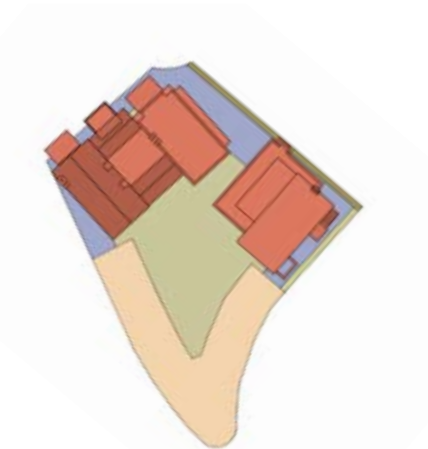
Cottage Lots



Terrace Lots

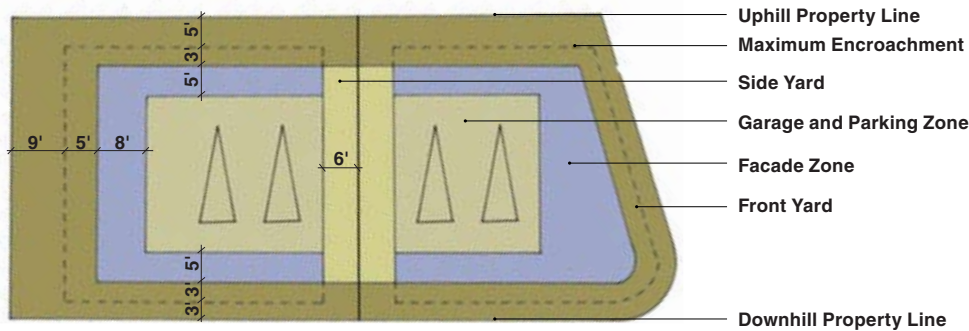


Bluff Lots



Attached Housing

CARRIAGE LOT



Lot Plan (lots 39 and 40 shown as examples)

Carriage Lots support vertically proportioned houses atop garage. Their height capitalizes on views and responds to topography. These lots utilize efficient landscaping on limited yard space.

LOT SIZE

- » Lot Dimensions: 45 to 55 feet by 50 feet
- » Lot Area: 2,250 to 4,000 square feet

MINIMUM SETBACKS ■ ■

- » Front Yard: 6/8/14 feet from property line
- » Side Yard: 3/6 feet from side property line

DEVELOPMENT ZONES ■ ■ ■

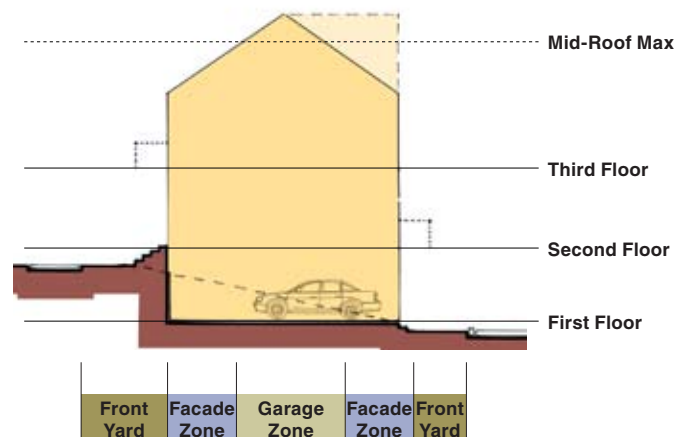
- » Facade Zone: 5 feet
- » 70% of main body facades must be in Facade Zone

ENCROACHMENTS AND SETBACKS

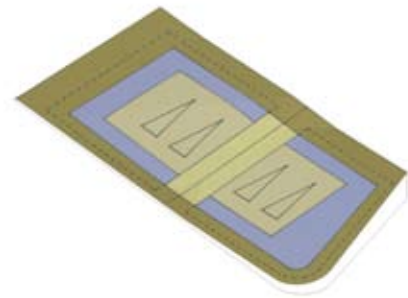
- » Porches and Terraces: 5 feet into Front Yard and Side Yard
- » Parking Pads: 6 feet into Side Yard

PORCHES AND WINGS ■ ■

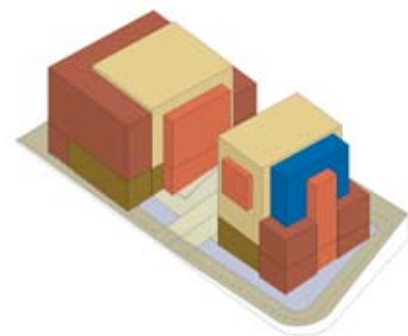
- » Entry porches: minimum 8 feet deep and must be 18 to 30 inches off finished grade where stairs are located. Garage-level entry is permitted to be at grade.
- » May share eave lines with but not ridge heights with the main body massing
- » Each wing is permitted to add up to 35% additional first floor area; the maximum adjoining dimension of a wing shall be 14 feet.
- » No less than 75% of adjacent side of wing must attach directly to main body massing.



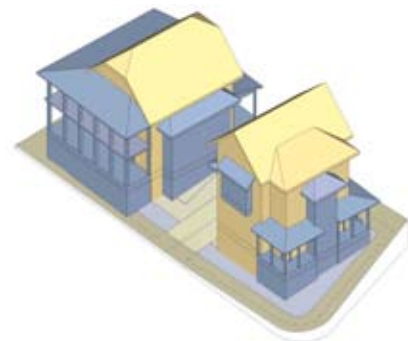
Section through the lot



Establish lot setbacks and development zones



Orient wings, porches, stairs, and towers in response to the site opportunities



Compose the house's massing and composition using Architectural Patterns

GARAGES AND PARKING ■ ■

- » Minimum 2 off-street parking spaces required
- » Garages must orient toward lane.
- » Garage doors larger than one stall wide are not permitted
- » Parking pads and other covered parking must be to either side of the garage and is not permitted between the garage and the lane.

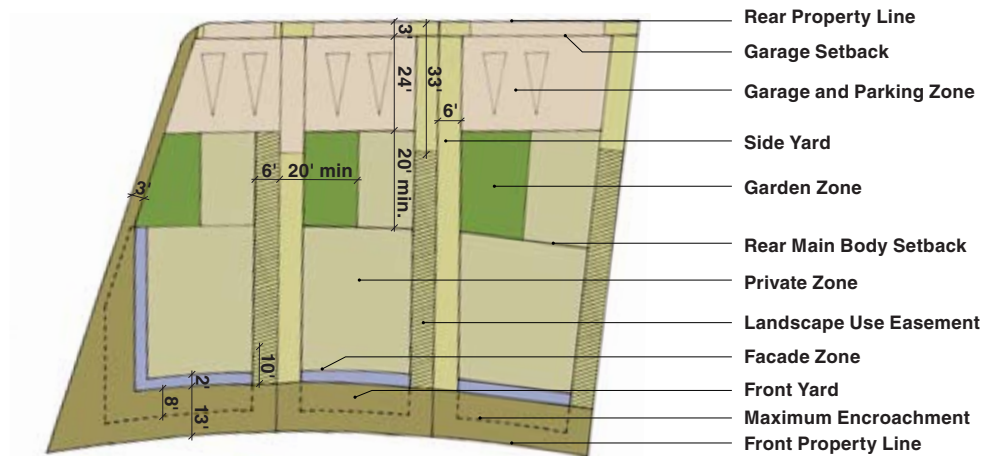
TOWERS AND STAIRS

- » Towers are permitted when engaged into main body massing of the house.
- » Towers are not to exceed 1½ stories above uppermost main body story and may not be larger than 12 feet in either depth or width.
- » Site stairs and porch stairs are not permitted to encroach into public right-of-way and must not be greater than five sequential treads.



Sample Elevation (see page 90 for sample plans)

COTTAGE LOT



Lot Plan (lots 42, 43 and 44 shown as examples)

Cottage Lots are traditional alley-loaded lots with the house's main volume typically forward on the lot. The interior of the lot is reserved for wings and garden or courtyard space.

LOT SIZE

- » Lot Dimensions: 36 to 50 feet by 100 to 110 feet
- » Lot Area: 4,160 to 5,200 square feet

MINIMUM SETBACKS

- » Front Yard: 13 feet from property line
- » Side Yard: 6 feet from side property line; 3 feet where abutting public right of ways.
- » Rear Main Body Setback: 45 to 60 feet
- » Garage: 3 feet from rear property line

DEVELOPMENT ZONES

- » Facade Zone: 2 feet
- » 60% of main body front facade must be in Facade Zone
- » The downhill Side Yard has a Landscape Use Easement overlay that allows for the adjacent lot's landscaping.
- » The main body facade along Landscape Use Easement may not have windows or other openings lower than 6 feet above finished grade except when fully located within 12 feet of front facade.

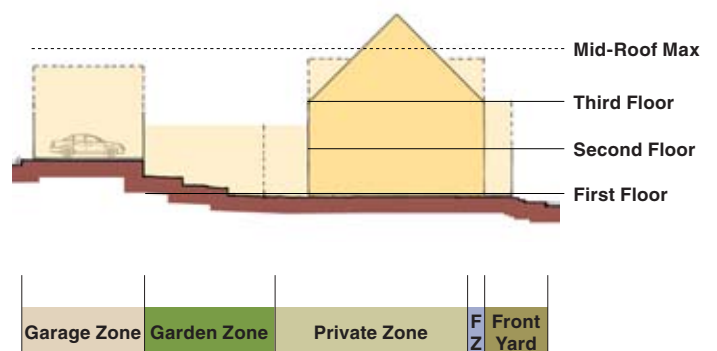
- » Garden Zones are reserved for premium courtyard or garden uses oriented toward the primary sun angle. They must be a minimum of 400 square feet with at least one side of 20 feet.

ENCROACHMENTS INTO SETBACKS

- » Entry porches: 8 feet into Front Yard
- » Parking Pads: 6 feet into Side Yard
- » Eaves, balconies and other overhangs: 3 feet into Landscape Use Easement so far as they are a minimum 10 feet above finished grade

PORCHES AND WINGS

- » Entry porches: minimum 8 feet deep and must be 18 to 30 inches off finished grade where stairs are located.



Section through the lot



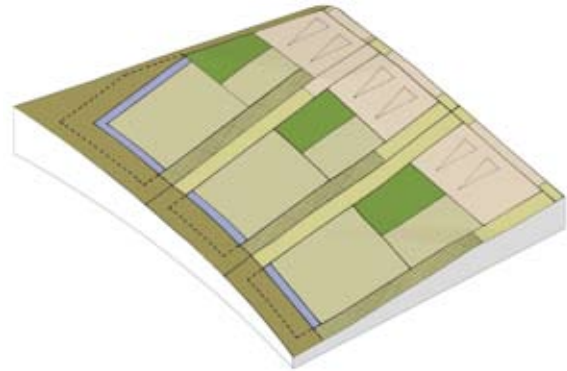
- » Each wing is permitted to add up to 35% additional first floor area; the maximum adjoining dimension of a wing shall be 16 feet.
- » No less than 75% of adjacent side of wing must attach directly to main body massing.
- » Wings may share eave lines with but not ridge heights with main body massing

GARAGES AND PARKING ■ ■

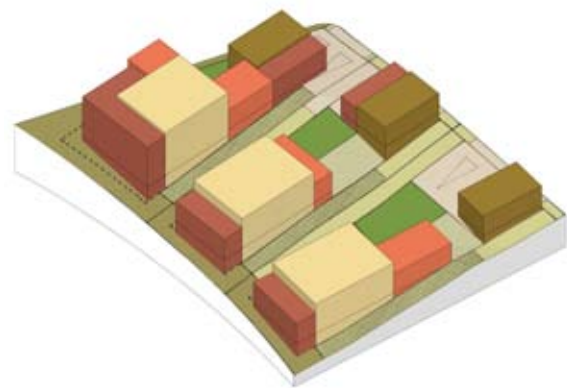
- » Minimum 2 off-street parking spaces required
- » Engaged and detached garages may be 1, 1½ or 2-story massing; main massing of garage may not exceed 16 feet in width with subordinate masses set back at least 2 feet
- » Parking pads and other covered parking must be to either side of the garage and is not permitted between the garage and the lane.

TOWERS

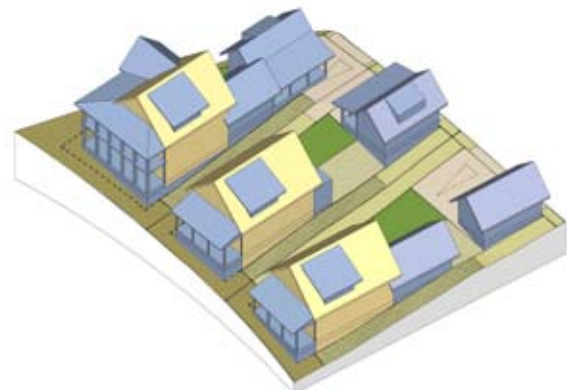
- » Towers are permitted when engaged into main body massing of the house.
- » Towers are not to exceed 1½ stories above uppermost main body story and may not be larger than 12 feet in either depth or width.



Establish lot setbacks and development zones



Orient wings, porches, stairs, and towers in response to the site opportunities

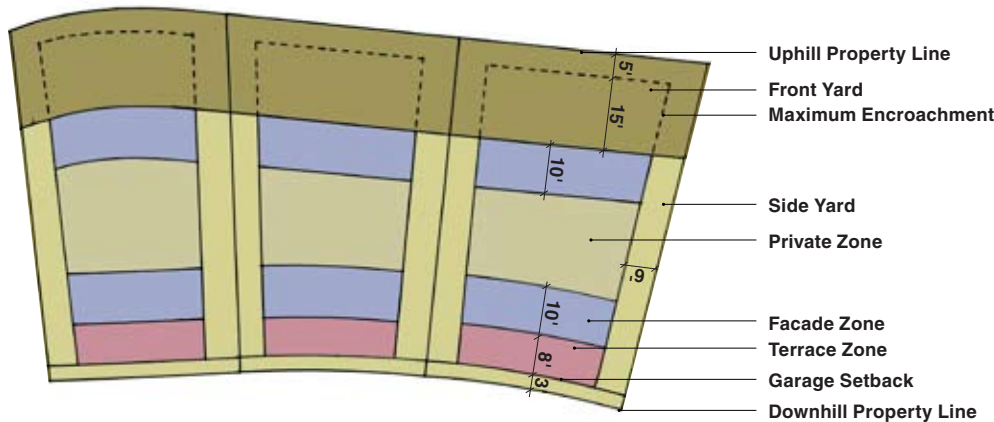


Compose the house's massing and composition using Architectural Patterns



Sample Elevation (see page 91 for sample plans)

TERRACE LOT



Lot Plan (lots 50, 51 and 52 shown as examples)

Terrace Lots are steep hillside lots that have a tall downhill facade atop a garage and have a low, cottage-scaled composition from the uphill side. This lot type maximizes its value by the orientation of porches toward the harbor below.

LOT SIZE

- » Lot Dimensions: 40 to 50 feet by 65 to 75 feet
- » Lot Area: 2,600 to 3,750 square feet

MINIMUM SETBACKS

- » Front Yard: 20 feet from front property line
- » Side Yard: 6 feet from side property line
- » Garage: 3 feet from rear property line

DEVELOPMENT ZONES

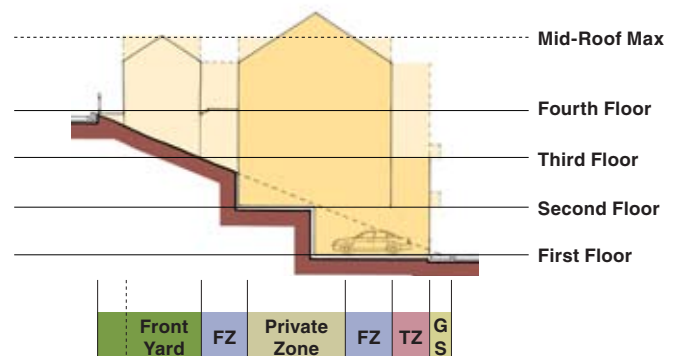
- » Facade Zone: 10 feet
- » 60% of structure's main body facades must be in a facade zone
- » Terrace Zone: 8 foot zone in which primary porches, balconies, and terraces are to be located. Garages and other covered parking are required to have a facade in this zone. Main body massing is not permitted in the Terrace Zone. One level of conditioned space is permitted on level above parking in the Terrace Zone.

ENCROACHMENTS INTO SETBACKS

- » Porches, wings, outbuildings and terraces: 15 feet into Front Yard
- » Attached wings or detached out buildings are encouraged along uphill harbor-side of lot; maximum dimension of wings and out buildings is 18 feet
- » Eaves, balconies and other overhangs: 3 feet into Garage Setback so far as they are a minimum 10 feet above finished grade.

PORCHES, WINGS, AND OUT BUILDINGS

- » Entry porches and terraces: minimum 8 feet deep and must be 18 to 30 inches off finished grade where stairs are located.
- » Each wing is permitted to be 1½ stories max ; the maximum dimension of a wing in the Front Yard shall be 18 feet.



Section through the lot



- » Wings may share eave lines with but not ridge heights with main body massing

GARAGES AND PARKING ■ ■

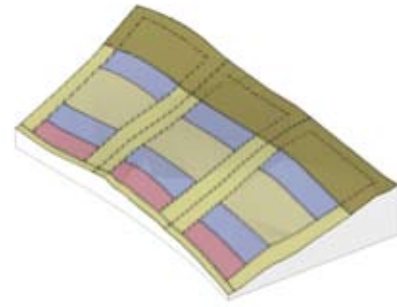
- » Minimum 2 off-street parking spaces required
- » Garages must be tucked under main body of house
- » Garages shall either be a 1 or 2 stalls; tandem garages are permitted
- » Garage doors larger than one stall are not permitted.
- » Parking pads and other covered parking must be to either side of the garage and is not permitted between the garage and the lane.

TOWERS AND STAIRS

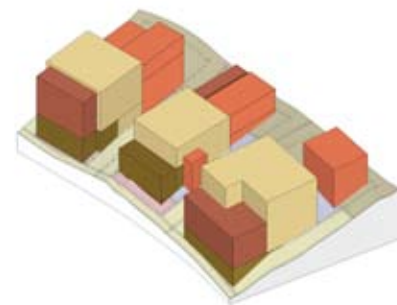
- » Towers are permitted when engaged into main body massing of the house. They are not permitted in the Terrace Zone.
- » Towers are not to exceed 1½ stories above uppermost main body story and may not be larger than 12 feet in either depth or width.
- » Landscape stairs in the Side Yard are permitted

TERRACE LOT FOUNDATIONS

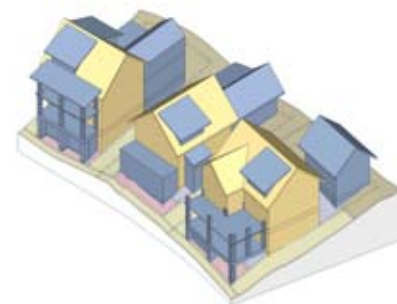
- » Please refer to Terrace Lot Foundations reference sheet for foundation strategies specific to this lot type.



Establish lot setbacks and development zones



Orient wings, porches, stairs, and towers in response to the site opportunities

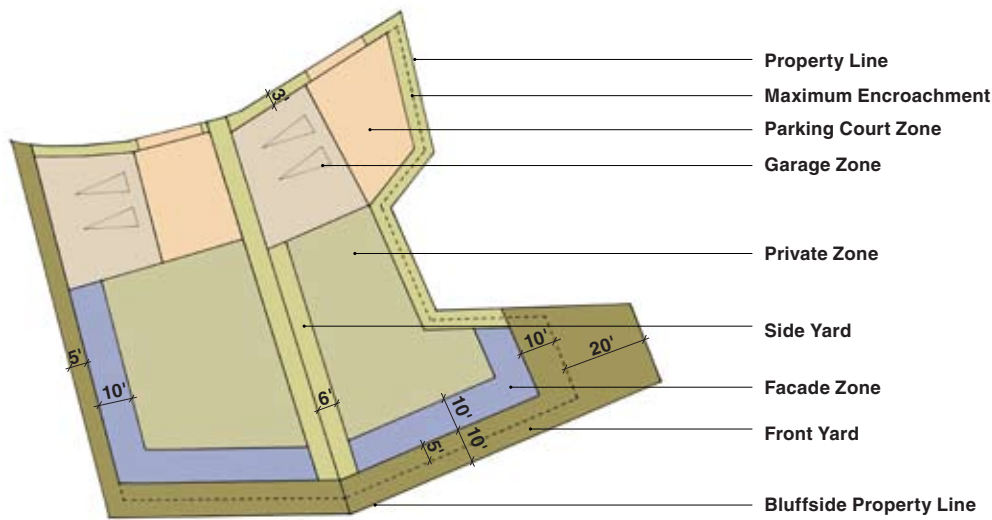


Compose the house's massing and composition using Architectural Patterns



Sample Elevation (see page 92 for sample plans)

BLUFF LOT



Lot Plan (lots 56 and 57 shown as examples)

Bluff Lots have commanding views to the harbor and the Marina. Residences are oriented around sunny parking courtyards off the street and face out toward the harbor with broad porches and terraces.

LOT SIZE

- » Lot Dimensions: 45 to 65 feet by 100 to 110 feet
- » Lot Area: 7,000 to 9,000 square feet

MINIMUM SETBACKS ■ ■

- » Front Yard: 5 to 10 feet from front property line
- » Side Yard: 6 feet from side property line

DEVELOPMENT ZONES ■ ■ ■ ■

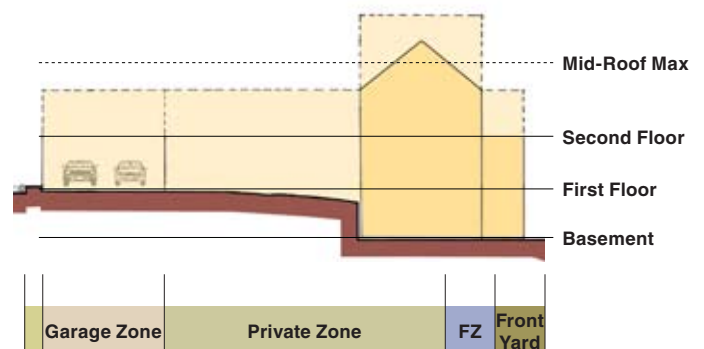
- » Facade Zone: 10 feet
- » 35% of main body facade(s) must be in Facade Zone
- » Garage Zone: Area where garage shall be located
- » Parking Court Zone: Area where parking court shall be located

ENCROACHMENTS INTO SETBACKS

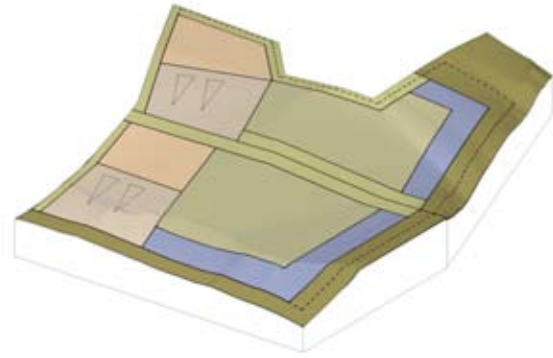
- » Porches and Terraces: 0 to 10 feet into Front Yard
- » Garages: 3 feet into Side Yard

PORCHES AND WINGS ■ ■

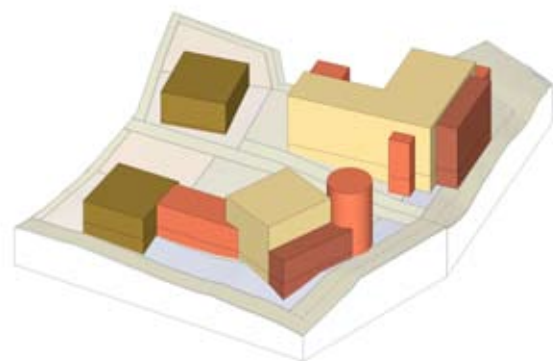
- » Entry porches: minimum 8 feet deep and must be 18 to 30 inches off finished grade where stairs are located.
- » Each wing is permitted to add up to 40% additional first floor area; the maximum adjoining dimension of a wing shall be 18 feet.
- » No less than 75% of adjacent side of wing must attach directly to main body massing.
- » Wings may share eave lines with but not ridge heights with main body massing



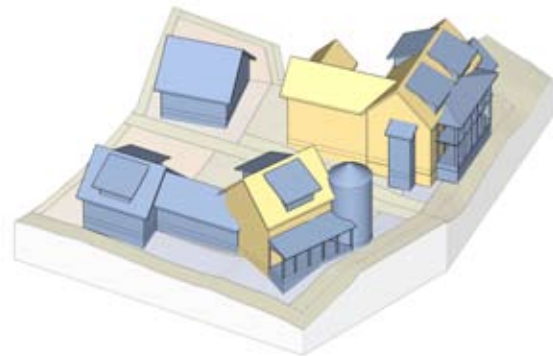
Section through the lot



Establish lot setbacks and development zones



Orient wings, porches, stairs, and towers in response to the site opportunities



Compose the house's massing and composition using Architectural Patterns

GARAGES AND PARKING ■ ■

- » Minimum 2 off-street parking spaces required
- » Garages shall be detached or attached via a wing
- » Garages may be 1½ or 2-story massing; they may be up to 3-car garages and contain habitable space above
- » Garage doors larger than one stall are not permitted.
- » Parking pads and other covered parking must be to either side of the garage and is not permitted between the garage and the public right of way.
- » Garages must open to parking court
- » Parking courts are not permitted between the garage and public right of way and may not have an entry width wider than 12 feet.

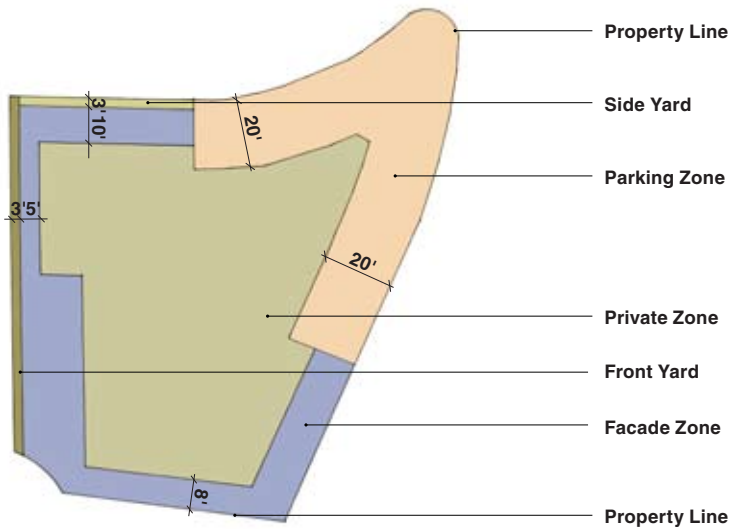
TOWERS

- » Towers are permitted when engaged into main body massing of the house.
- » Towers are not to exceed 1½ stories above uppermost main body story and may not be larger than 12 feet in either depth or width.



Sample Elevation (see page 94 for sample plans)

ATTACHED HOUSING LOT



Lot Plan (lot 47 shown)

The Attached Housing Lot will be the site of 8 condominiums oriented toward the Marina and harbor. Units will be one or two bedroom 800 square foot units all with a porch or terrace. A garden will occupy the center of the parcel.

LOT SIZE

- » Lot Dimensions: 120 feet by 130 feet
- » Lot Area: 15,600 square feet

MINIMUM SETBACKS ■ ■

- » Front Yard: 3 feet from front property line
- » Side Yard: 0 to 3 feet from side property line

DEVELOPMENT ZONES ■ ■ ■

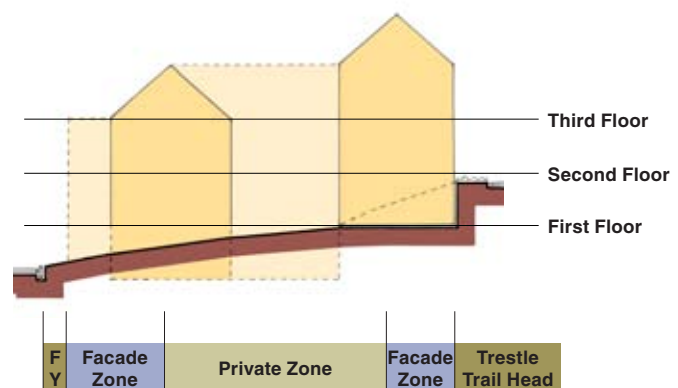
- » Facade Zone: 5 - 10 feet
- » 40% of main body facade must be in Facade Zone

ENCROACHMENTS INTO SETBACKS

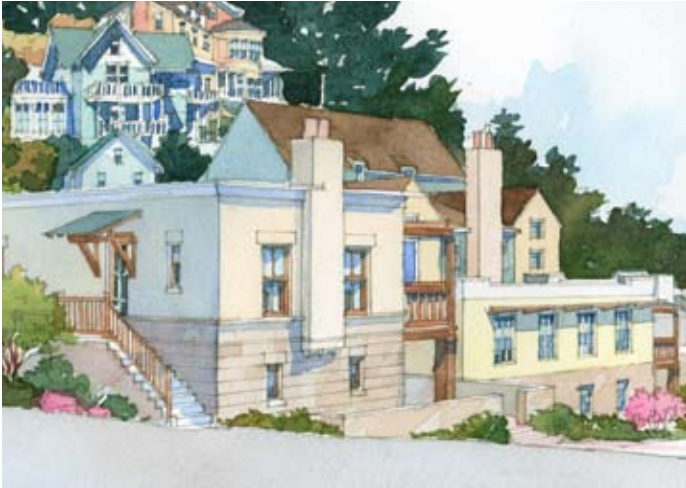
- » Entry porches and terraces: 3 feet into Front Yard
- » Eaves, balconies and other overhangs: 4 feet into Public Easement so far as they are a minimum 10 feet above finished grade.

PORCHES AND WINGS ■ ■

- » Entry porches and stoops: minimum 8 feet deep and must be 18 to 30 inches off finished grade where stairs are located.
- » Wings must have one full side adjoining the main body massing
- » No less than 75% of adjacent side of wing must attach directly to main body massing.

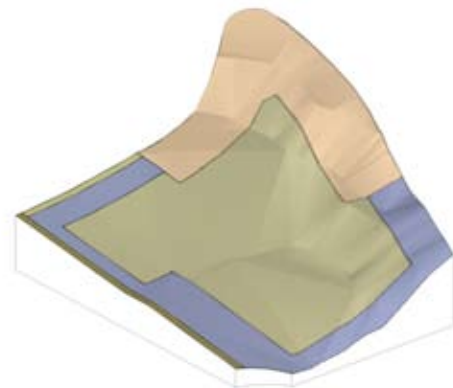


Section through the lot

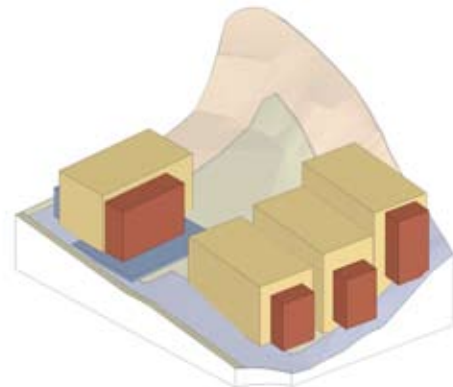


GARAGES AND PARKING ■ ■

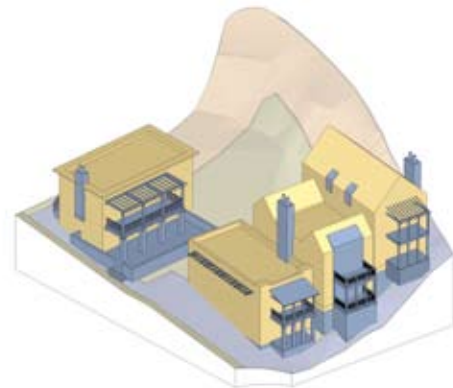
- » Minimum 1.75 off-street parking spaces per attached housing unit
- » Parking will be off-street in a lot screened from public view by the main body massing of the attached housing building(s)
- » Covered parking is permitted.



Establish lot setbacks and development zones



Orient wings, porches, stairs, and towers in response to the site opportunities



Compose the house's massing and composition using Architectural Patterns



Sample Elevation (see page 96 for sample plans)



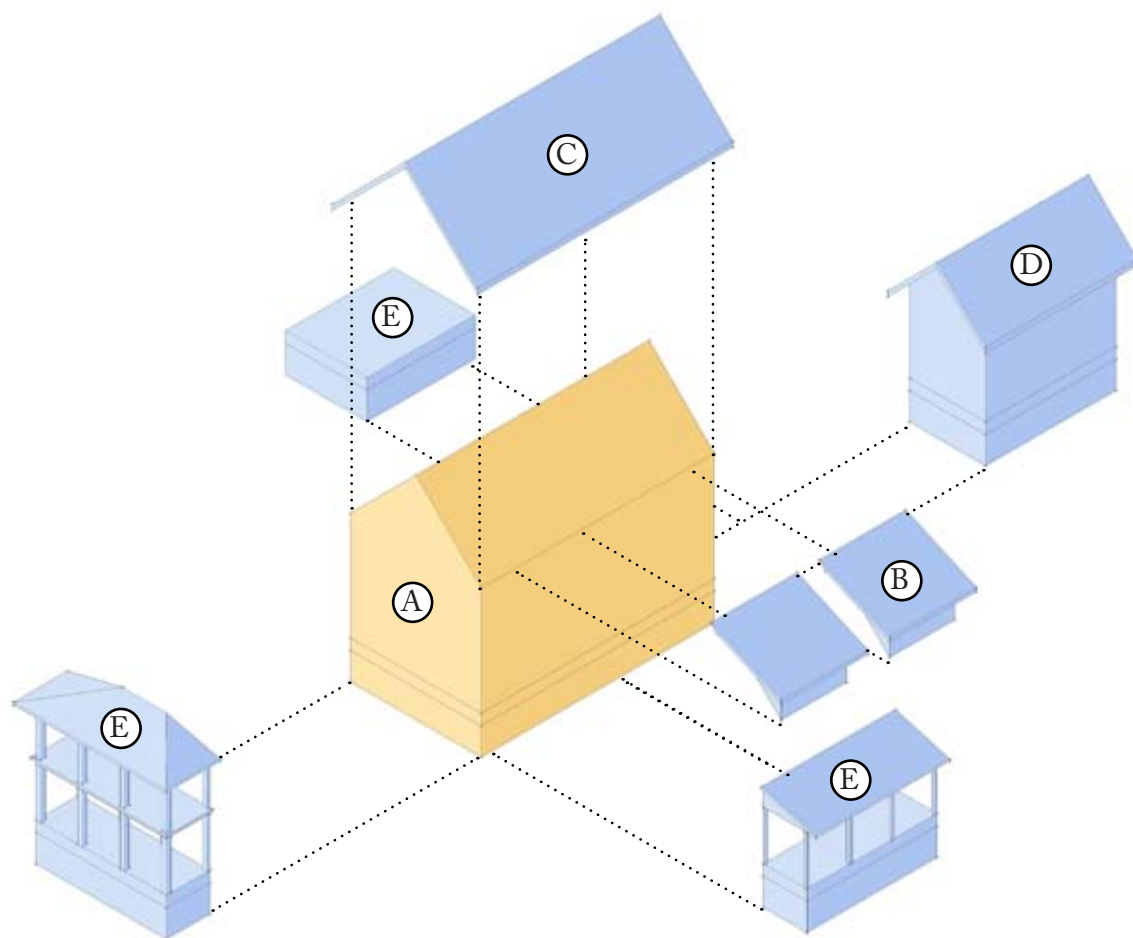
ARCHITECTURAL PATTERNS

OVERVIEW

The Architectural Patterns section illustrates key elements and design strategies for buildings within Roche Harbor. The principal goals are to produce aesthetically pleasing, environmentally responsible architecture that together, form a sense of the Roche Harbor community vision.

The Pattern Book for Roche Harbor defines architectural vocabularies that are the basis for developing new houses. These are based on the inherited patterns found at Roche Harbor, traditional towns and villages in the San Juan Islands, and great communities along the West Coast. The adaptation of these traditional architectural styles for Roche Harbor calls for a simplified approach to details and materials with an emphasis on proportion, clear and simple forms, and connectivity between the indoors and outdoors. The approach used is not intended to be a comprehensive catalog of all possibilities, but rather to serve as a guide and inspiration in articulating the key components within a particular style.





Elements of the Roche Harbor House

ESSENTIAL ELEMENTS OF ROCHE HARBOR HOUSE

A The Main Body is a simple mass and leads the final composition. The form is typically a rectangular.

B Dormers and bay windows appear as additive elements to the Main Body and help break down the scale of the simple mass.

C Simple, pitched roofs with modest overhangs and exposed structural elements such as rafters and brackets are characteristic of the Roche Harbor house.

D Additions and side or rear wings are an additive element that is a subordinate volume to the primary mass.

E Porches and Terraces extend the interior living space to the outdoors, providing a private, exterior room with exposure to views, sun, and activity.

SUSTAINABLE ARCHITECTURE

Building green is extremely important for the health of our environment, the character of Roche Harbor, and the well being of those who live in the buildings. It can substantially reduce maintenance and utility life-cycle costs and increase the durability and value of the house. Using efficient green design and construction techniques diverts construction waste from landfills, saves energy, and preserves resources. Small, well designed buildings can be amongst the greatest contributors to sustainability.

Indoor air quality is extremely important to personal health. Incorporating natural ventilation, lighting, and comfortable outdoor spaces adds to quality of life.

NATURAL BUILDING TECHNIQUES

Consider natural building techniques and materials as a way to improve indoor air quality and avoid toxic materials. Locate operable windows to allow for natural ventilation and airflow as a means of efficiently cooling the house. Place windows to provide natural light throughout the day. Sunlight is free and energy-efficient; it creates a healthy, enjoyable indoor environment.

RECYCLED MATERIALS

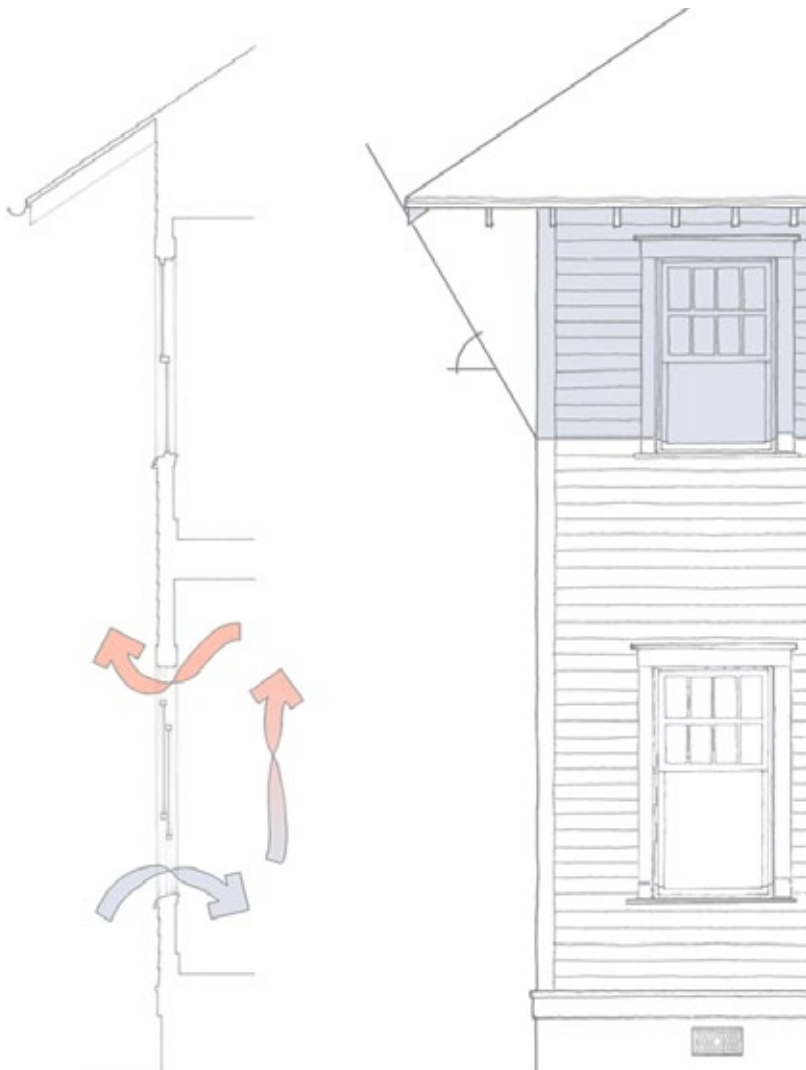
Specify renewable, reclaimed, and local materials when possible. This decreases the amount of energy needed to produce and transport materials.

LOW-TOXICITY AND NATURAL MATERIALS

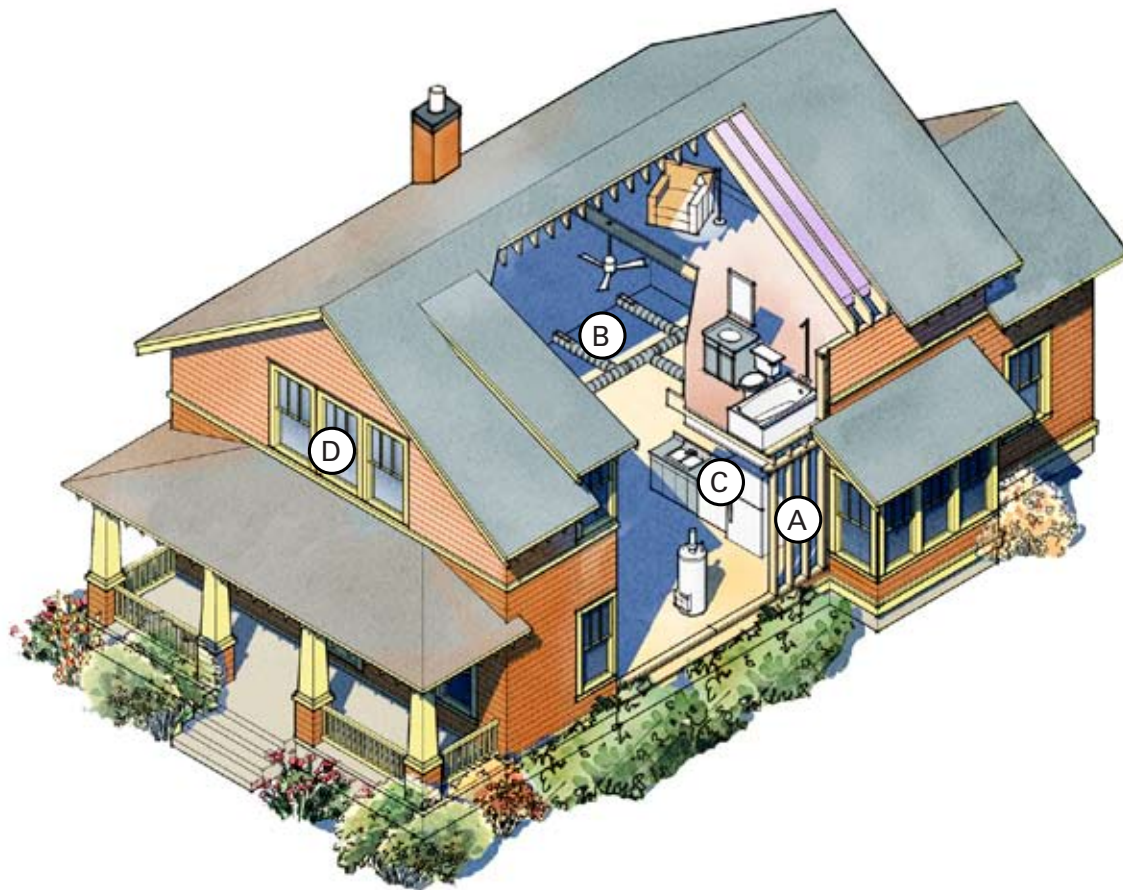
Choose building materials, furnishings, and finishes to affordably avoid PVC, formaldehyde, arsenic, chromium, and other toxic chemicals.

HIGH QUALITY MATERIALS

Use high quality materials with longer life cycles. The greater initial cost is made up for in higher energy performance and reduced maintenance. Use engineered (non-formaldehyde) and Forest Stewardship Council certified lumber to decrease the environmental impact on old-growth forests.



Correctly proportioned overhangs and well-placed windows can contribute to a home's sustainability



**A : OPTIMUM VALUE
ENGINEERING (OVE) FRAMING**

OVE framing reduces the amount of lumber needed for construction and allows for more efficient insulation. Design and construct the house to avoid excess material waste. When possible, recycle materials that are left over from construction.

B : MECHANICAL SYSTEMS

Design the mechanical systems to make efficient use of materials. For example, place the bathroom near or above the kitchen to minimize the need for extra plumbing. Size the mechanical systems appropriately, taking into consideration the size, insulation, and solar orientation of the house. Utilize fans to circulate air and reduce the need for energy-intensive heating or cooling.

**C : EFFICIENT APPLIANCES
AND PLUMBING SYSTEM**

Reduce energy and water consumption by specifying Energy Star rated appliances. Reduce the energy used to heat water by insulating the water heater and hot water pipes.

D : NATURAL LIGHT

Large, thoughtfully placed windows create a light-filled room without the use of electric lighting. Research shows that people thrive in naturally lit environments. Install double-pane, insulated, and Low-E coated windows to mitigate radiant heat gain. Make use of natural sunlight and task lighting as a means of conserving energy. Use compact fluorescent light bulbs in place of incandescent bulbs.

USEFUL RESOURCES

EarthCraft.com – Green building program for healthier more comfortable houses.

USGBC.com – Non-profit organization dedicated to sustainable building design and construction.

USGBC.com/LEED – Nationally accepted benchmark for design, construction, and operation of high performance green buildings.

ROCHE HARBOR PICTURESQUE

The Roche Harbor Picturesque House is characterized by its cottage-like architectural language. Through its composition, massing, and detailing, the house creates a connection between the interior and the landscape, highlighting the lifestyle instilled within the architecture. The Roche Harbor Picturesque House takes its inspiration from the historic Victorian structures of Roche Harbor. The remarkable landscape of the San Juan Islands and the climate of Roche Harbor are essential elements in creating a traditional community feel and lifestyle.

The architecture of the Roche Harbor Picturesque House responds to the views afforded by the landscape as well as the climactic conditions of Roche Harbor. The house is a marriage of styles, incorporating a diverse palette of inspiration, allowing for creative mixing of textures and details. Simple, elegant massing forms define the house and can be added to for variation.

ESSENTIAL ELEMENTS OF ROCHE HARBOR PICTURESQUE

- » Simple, straightforward volumes with side wings and porches added to create more complex compositions
- » Steep pitched roofs with modest overhangs and exposed structural elements such as rafters and brackets
- » An orderly, symmetrical relationship between windows, doors, and building mass
- » Expressive detail and materials palette that draws from traditional regional and national influences
- » Strong interconnectedness between the interior and exterior spaces through large assemblies of doors and windows
- » Responsive to climate, views, and collective community vision for the Roche Harbor Village neighborhood





Historic Roche Harbor gable end



Open eave and bracket detail



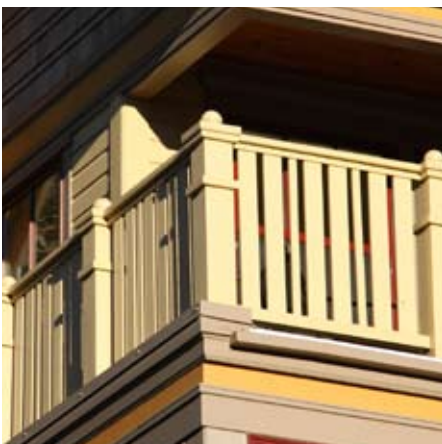
Simple massing of the Roche Harbor Chapel



A Roche Harbor porch



Pitched roofs step along the landscape



Porch and railing detail



Gable roof detail

MASSING COMBINATIONS

Roche Harbor houses emphasize a simple primary mass in which the Main Body remains a coherent form rather than becoming a compound form. There is a clear and dominant principal roof form, which is symmetrical about the Main Body and has a minimum slope of 10:12. There is also a clear hierarchy of subordinate roofs where additions are simple shed, gable, or hip forms that attach to the main body as dependent wings.

Houses feature groupings of windows and doors that increase the transparency of the house and emphasize the connection to the outside. Flexible components such as porches, pergolas, trellis screens, window and door hoods, roof overhangs, tower elements, and water catchment components are designed to fit the site orientation and location. Tower elements are engaged into the main body massing of the house and highlight the location of the interior stair, measuring 12 to 14 feet in width. The stair tower elements extend a maximum of 1½ stories above uppermost main body story. Through the use of porches, courtyards, and terraces, outdoor 'rooms' are created that allow for a focus on indoor/outdoor living where appropriate to a given site.

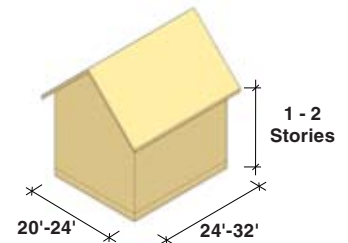
In order to ensure a variety of house designs and styles along all streets, a maximum of three houses of the same style may be located next to each other unless otherwise noted as part of a coordinated address. In addition, houses having the same front facade typically may not be located on adjacent or facing lots.



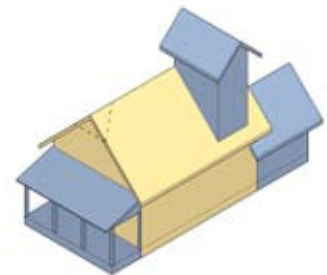
The Cottages on the Green is an example of a coordinated address at Roche Harbor.

GABLE

MAIN BODY



EXAMPLE A



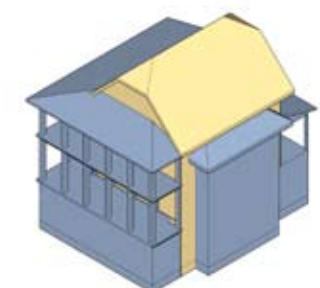
1 1/2 story gable with front porch

EXAMPLE B



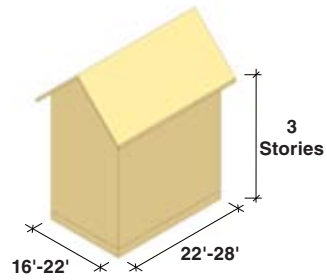
2 story gable with 2 story porch

EXAMPLE C



2 story gable with 2 story wrapped porch and side wing

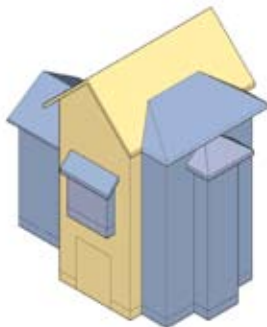
TOWER HOUSE



Tower house with side wing and terrace

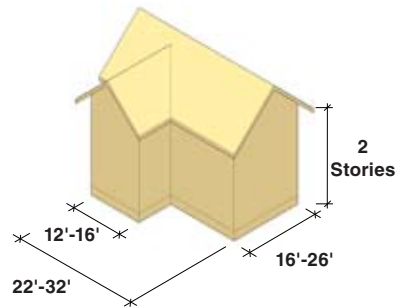


Tower house with side wing and wrapped porch



3 story tower house with side wing, attached bay window, and integral garage

L-SHAPED



L-shaped house with nested porch

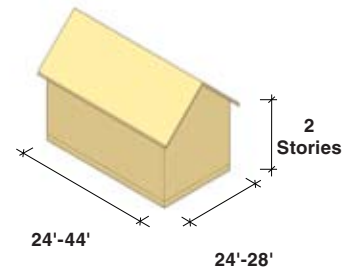


L-shaped house with nested 2 story porch



L-shaped house with wrapped porch and attached side wing

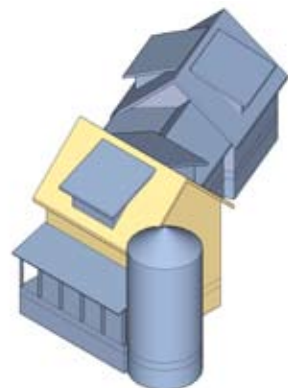
2-STORY BROADFRONT GABLE



Broadfront with front porch and 1 story wing



Broadfront with 2 story front porch, side wing and rear wing

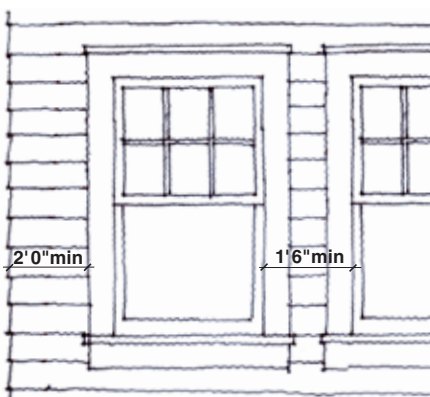


Broadfront with front porch, rear wings and attached tower

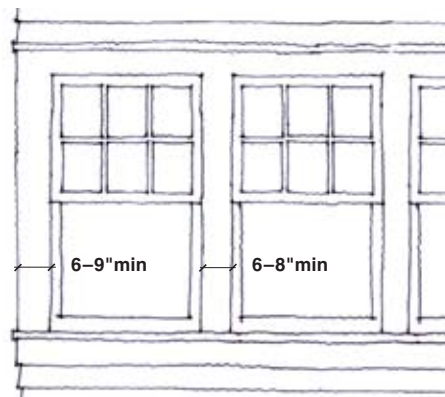
FACADE COMPOSITION

Window composition in traditional architecture is a critical step in the design of a traditional house. By massing type, this section illustrates facade composition diagrams that can be implemented in the houses of Roche Harbor. Note the following characteristics:

- » Rectangles indicate the locations for approved windows and doors.
- » In the diagrams, bay windows may be substituted from ganged windows.
- » Compositional relationships between floors are encouraged (align with column bays, center lines, or similar benchmarks)
- » Additional facade compositions may be used, thoughtful designs are encouraged
- » Windows should allow for expression of the building corner or be placed at the corner itself
- » When windows are 'ganged' together, the windows must show the representation of a window mullion

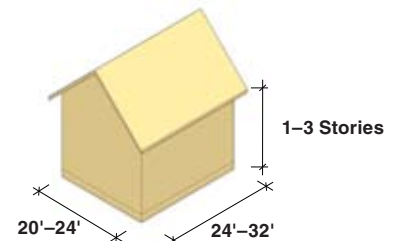


Required minimum dimensions at corner conditions and window clusters

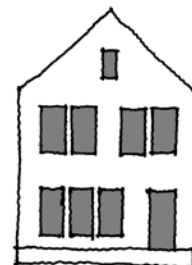


Range of dimensions in ganged window configurations and corner conditions

GABLE



1 1/2-story gable

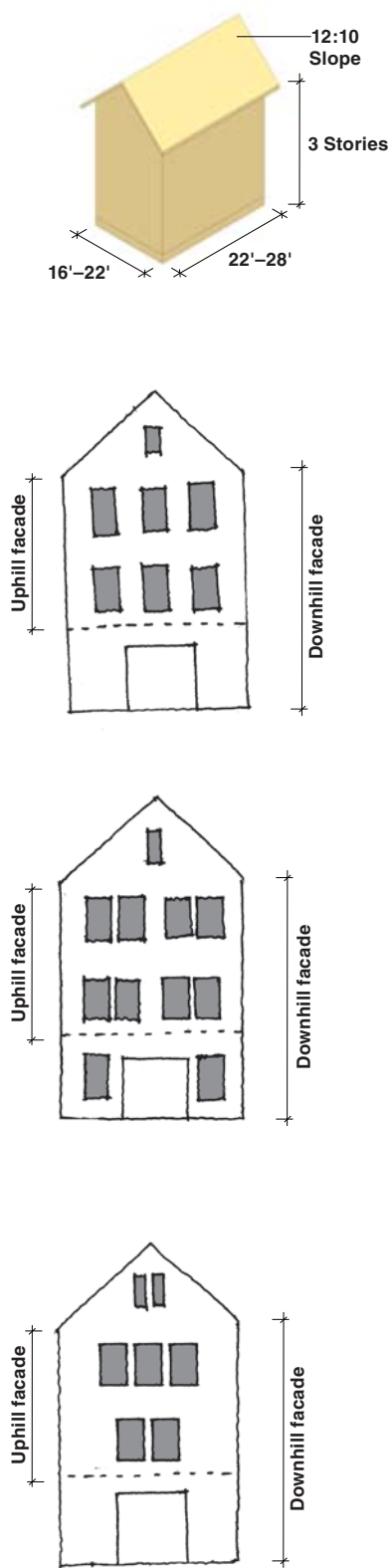


2-story gable

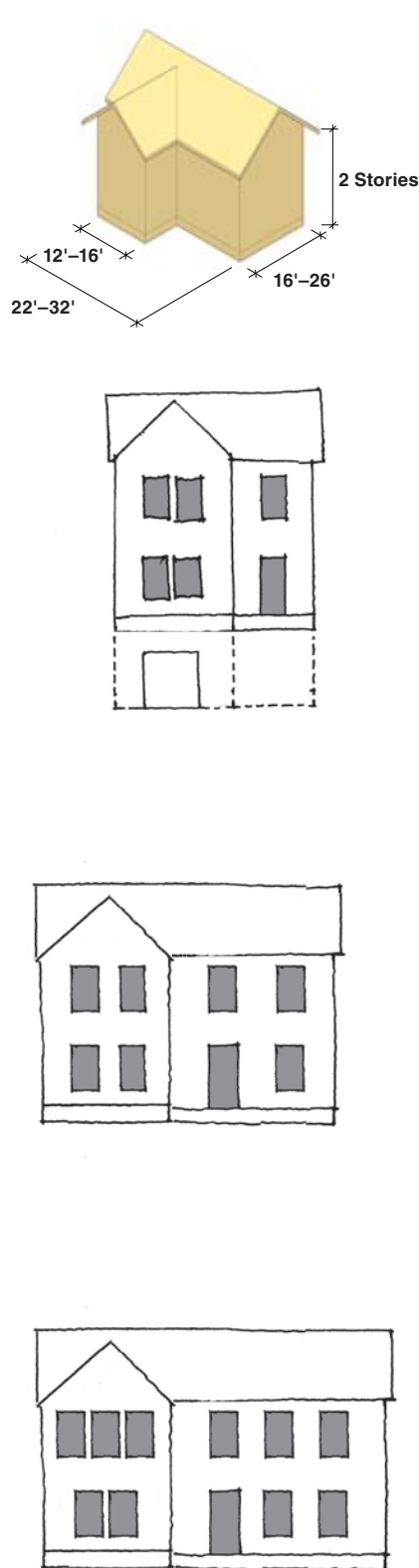


2- or 3-story gable (3rd story with garage)

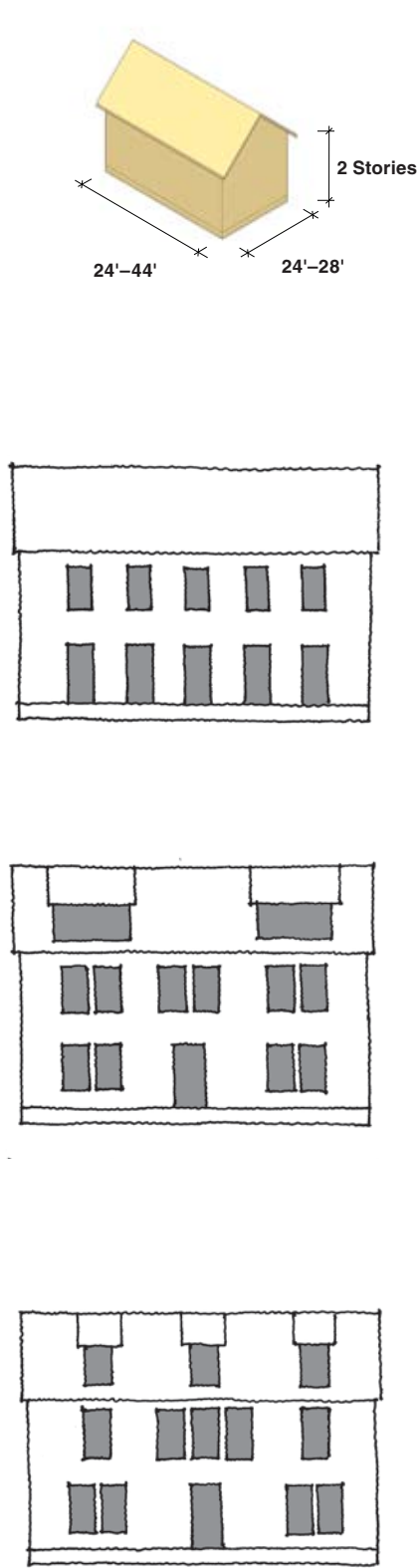
TOWER HOUSE



L-SHAPED



2-STORY BROADFRONT GABLE



EAVES, OVERHANGS, AND PORCHES

EAVES

- » When eaves are exposed, rafters shall be 2" x 6" minimum
- » Roof slope to be 10:12 or greater
- » Facia and gutter shall not completely cover rafter tails
- » Gutters, when used, shall be integrated into facia design
- » Gable ends shall have historically appropriate detailed rake and facia

OVERHANGS

- » 18 inch minimum eave and 12 inch minimum rake overhang
- » Brackets must be uniquely designed to architecture of the house

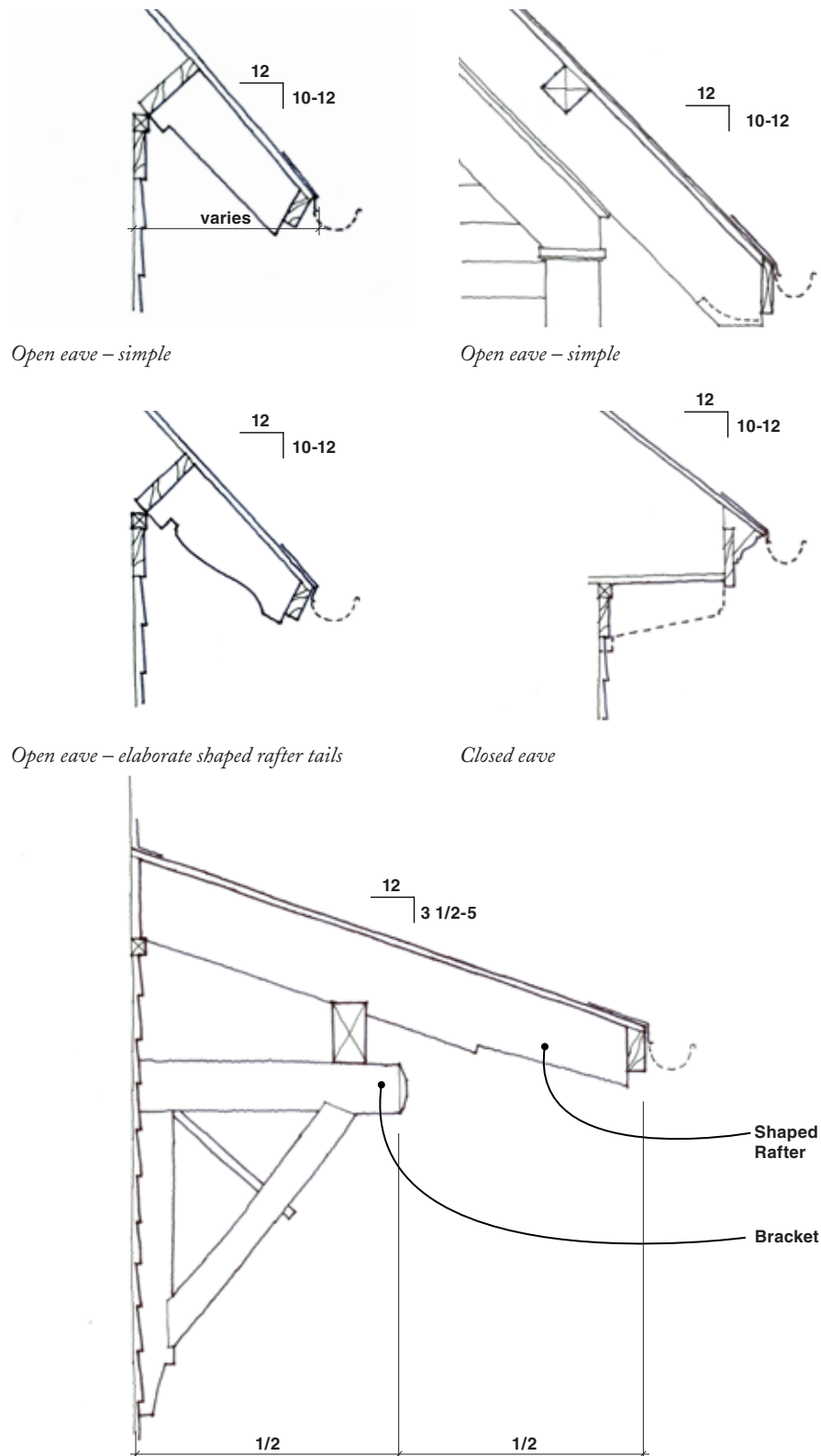
PORCHES

- » Roof pitch above porches and attachments shall be no less than 3½ in 12
- » Minimum depth of 8 feet; 6 feet minimum for side porches
- » Posts shall be no less than 6" x 6"
- » Arches and piers should be 12" x 12" min.
- » Railings shall have a top and bottom rail
- » Balconies should be visibly supported by appropriately scaled brackets
- » Maximum depth for balconies are 6 feet from building wall



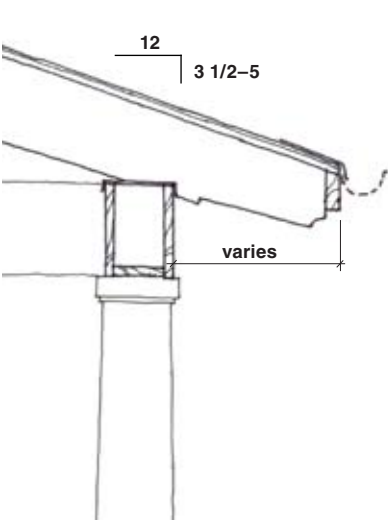
Simple wood Picturesque rakes

MAIN BODY EAVE EXAMPLES

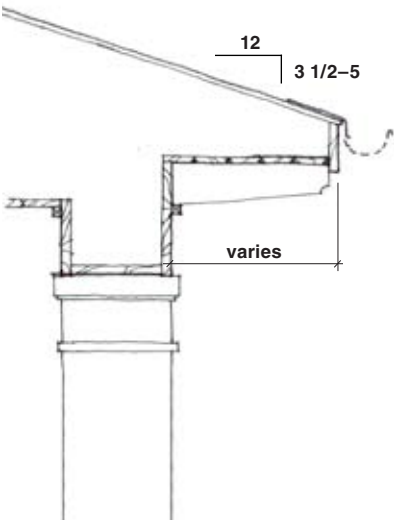


Bracketed overhang detail used to cover stoops, windows, and small porches.

PORCH EAVE EXAMPLES



Open eave porch detail



Closed eave porch detail



Rosemary Beach

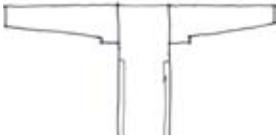


Roche Harbor Porches

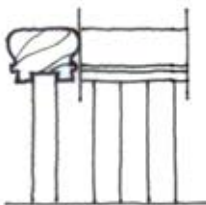
PORCH COLUMN EXAMPLES



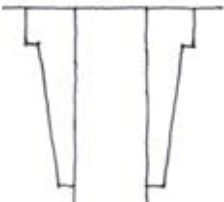
Simple capital



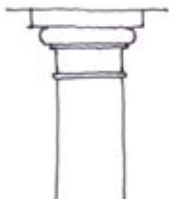
Bracket – option A



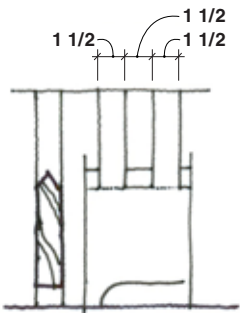
Rail detail



Bracket – option B



Elaborate capital



Shoe rail detail



Porch and Integral Railing Design

WINDOW AND DOOR TYPES

GENERAL NOTES

- » All doors and windows require a minimum trim of lintel, face frame, and drip mold
- » Muntins shall divide the window into lights, or be fixed on both interior and exterior window surfaces to simulate same
- » Panes shall be square or more vertical than square, in 1.5:1 proportions, and must be consistent throughout the building
- » Shutters are not permitted
- » Skylights shall be flat and not visible from a public way

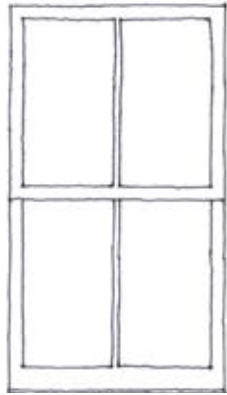
WINDOWS

- » Windows shall be casement, awning, single-, double- or triple-hung. No sliders permitted.
- » Transoms shall be oriented horizontally with vertically oriented panes of glass
- » Bay windows shall have a minimum three sides with the bay extending to the floor inside and ground outside or be supported by visible brackets of appropriate size and scale
- » Unusual windows including irregular shapes and art glass are exceptions and must be approved by the Town Architect

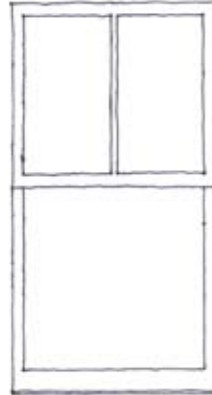
DOORS

- » Main entry doors shall contain clear glass to allow direct visibility
- » Doors shall be hinged (no sliders)

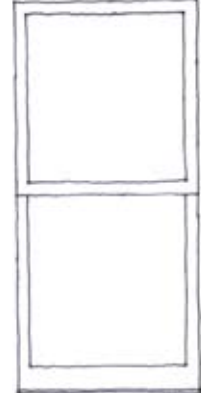
DOUBLE HUNG WINDOW TYPES



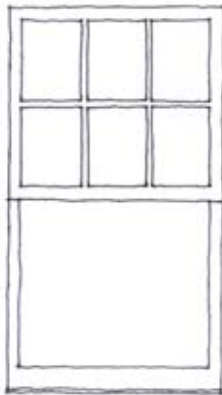
2 over 2



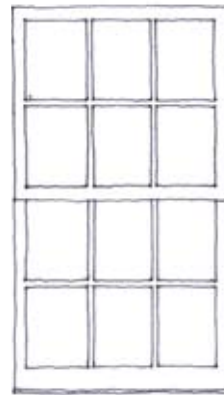
2 over 1



1 over 1



6 or 8 over 1

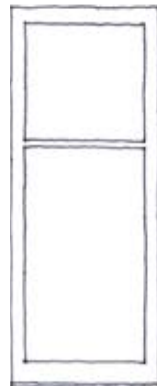


6 or 8 over 6 or 8

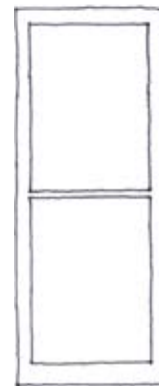
CASEMENT WINDOW TYPES



*Multi-pane
configuration
2 x 4, 2 x 5*



*Asymmetrical
configuration*

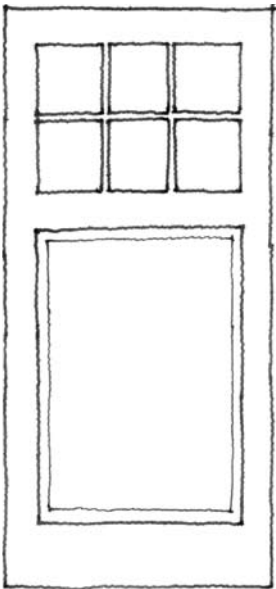


1 x 2, 1 x 3

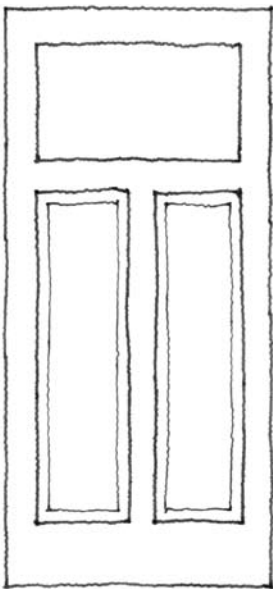


Single pane

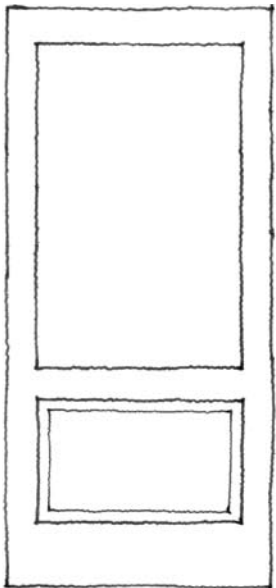
DOOR TYPES



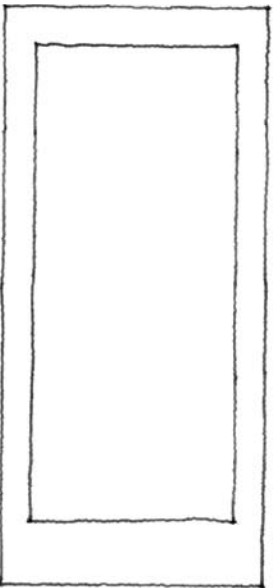
Single-panel entry door



Two-panel entry door



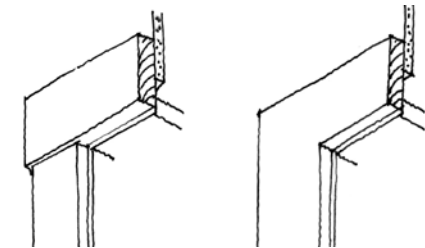
Single-panel entry or patio door



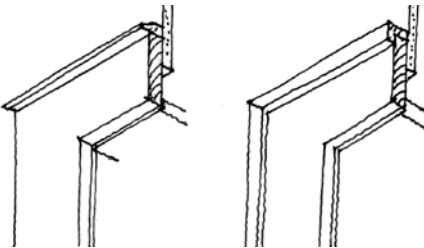
Patio door



WINDOW AND DOOR TRIM



1 x 6 Trim (Reveal Joint) 1 x 6 (Butt Joint)



1 x 6 with Cap 1 x 6 with Back Band

MATERIALS AND APPLICATIONS

ROOF

Wood shingles, slate, artificial stone, concrete, and metal

GABLE ENDS

Detailed rake and fascia trim shall be smooth finished clear wood

WINDOWS

Painted wood, metal, or wood clad

MAIN BODY

Wood, clapboard, drop siding, machine-sawn shingles, board & batten, stucco, galvanized metal, or Cor-Ten

TRIM

Smooth finished clear wood minimum $\frac{5}{4} \times 4$ inches

DOORS

Stained or painted wood or composition wood

PORCHES

Porches and loggia columns and posts shall be made of wood, concrete stucco, or stone

FOUNDATION

Walls or skirting made of wood, concrete, stone, cast stone, or stucco; see additional information for Terrace Lots



MAIN BODY MATERIALS
2 Story max. without change
in siding type or material

FOUNDATION
MATERIALS
1 Story max.

CLADDING

- » Walls shall be finished in wood, clapboard, drop siding or machine sawn shingles (maximum 6-inch reveal)
- » Stucco, galvanized metal, or Cor-Ten is also permitted
- » Board and Batten shall have a vertical pattern of 9 to 18 inches
- » Walls shall show no more than two materials above basement or foundations
- » Materials shall change only on a horizontal line with larger patterned materials below smaller pattern indicating a floor or sill level

FOUNDATIONS, PIERS, AND CHIMNEYS

- » Foundation shall be concrete, stone, cast stone, or stucco
- » Foundation walls shall transition to building walls with a water table equivalent horizontal feature.
- » Concrete or stone is allowed for foundations, chimneys, arches, piers and posts
- » Chimney finishes shall be concrete, stone, stucco, or brick (no wood finished chimneys)
- » Individuality in chimney design is encouraged
- » Interior fireplaces must be gas, (no private wood fires indoors)
- » Chimneys shall extend to the ground where visible
- » Spaces under buildings and decks shall be enclosed with architectural skirting or solid walls; see additional information for Terrace Lots.

EQUIPMENT

- » HVAC, utility meters, satellite dishes, play equipment, hot tubs, and the like shall not be visible from a public way

ROOFING

- » Composition shingles shall be dimension asphalt, colors from approved list
- » Wood shingles, slate, artificial stone, concrete tiles are allowed
- » Metal roofing shall be corrugated, standing seam, or metal shingle, non-reflective (galvanized, Cor-Ten, or copper)
- » Samples must be submitted for approval
- » Mono-pitches shall not be permitted unless abutting vertical walls
- » Flat roofs are permitted when accessible from adjacent living spaces or when surrounded by a corniced parapet of appropriate scale/detailing
- » Roofs shall be vented using linear soffit vents, ridge vents, or dormer vents
- » Special consideration will be given to green roofs and other sustainable technology

FENCES AND RAILINGS

- » Fences may have cast concrete or stone columns
- » Fences at frontages shall be finished in wood
- » Fences at side and back yard may be closed wood, trellis, lattice, hedge, building walls, or some combination thereof. They shall be 3 to 7 feet high
- » Railing shall be general made of wood

RETAINING/GARDEN WALLS

- » Walls shall be board formed concrete, stone, rockery, cast stone or stucco

PORCHES AND STOOPS

- » Steps shall be finished in wood, concrete, stone, or stucco
- » Porches, loggia columns, and posts shall be made of wood, concrete stucco, or stone

GUTTERS AND DOWNSPOUTS

- » Flashing, gutters, downspouts and drainpipes shall be galvanized, copper, or ESP aluminium and integrated into building and trim design
- » Sheathing, where visible, shall be horizontal boards with 6 inch maximum repeat

WINDOWS AND DOORS

- » Windows shall be of painted wood, metal, or wood clad
- » Doors shall be wood or composition wood and shall be stained or painted, main entry doors shall contain clear glass to allow direct visibility
- » Trim shall be smooth finished clear wood minimum 5/4 x 4 inches
- » Garage doors shall be no taller than 8½ feet and made of wood or composition wood with window panels of square or vertical proportions

LIGHTING

- » Lights shall not shine directly at neighbors or public ways
- » Entries from street paths shall have at least one low level fixture, controlled by a photo cell
- » Garages shall have a minimum of one light fixture by each door, controlled by a photo cell
- » Florescent lamps shall a warm color temperature (2700–3000 K)

ROCHE HARBOR VILLAGE COLOR PALETTE

The Roche Harbor Color Palette is based on the beautiful landscape tones and regional traditions of the Pacific Northwest. The palette includes rich, historic colors designed to create a harmonious palette that emphasizes the house form and blends to the natural landscape. The use of whites for body, trim or sash in residential architecture is not permitted, maintaining a hierarchy of white for the historic structures of Roche Harbor.

During the nineteenth century, painting the exterior of a house was more than surface protection, more than presenting a fresh face toward the community. Exterior decoration was a conscious act of beautification in which color was used to enhance the meaning of a building and to delineate its form. Rich, deeper colors evolved in the High and Late Victorian eras. Four periods are presented in the Roche Harbor Picturesque Color Palette: Downing, Renwick, Rockwood, and Tiffany.

All homes will be painted using three paint colors and an additional color for window sashes. Colors are designated Body Color, Major Trim Color, Sash Color, and Accent Color. Certain colors are only used as Trim or Accent, while other colors may be used as Body, Trim, or Accent. There are many possible combinations outlined in the book *Heritage Colors* by Roger Moss, noted color historian. Sawn shingles are best left natural or painted using ¼ pigment (from color palette), ¾ oil. Often fences and board walls should be painted in complementary colors as the body of the house. No house may have the same body color as the houses adjacent to it.



GENERAL NOTES

- » Paint colors shall be selected from approved list.
- » Wood if visible shall be painted or left natural (walking surfaces should be left natural).

PAINT PALETTE : SHERWIN-WILLIAMS CO.

BODY AND TRIM

Rookwood Blue Green 2811
Rookwood Jade 2812
Rural Green 6418 (Tiffany Palm Green)
Rookwood Red 2802
Renwick Olive 2815
Roycroft Brass 2843 (Rookwood Olive)
Rookwood Dark Green 2816
Avocado 2861 (Tiffany Olive)
Downing Straw 2813
Downing Earth 2820
Renwick Golden Oak 2824
Rookwood Brown 2806
Renwick Beige 2805
Ivoire 6127 *removed April 2018
Independent Gold 6401
Renwick Gold (custom mix)
Rookwood Antique Gold 2814
Fervent Brass 6405 (Tiffany Bronze)
Downing Sand 2822
Downing Stone 2821
Rookwood Clay 2823

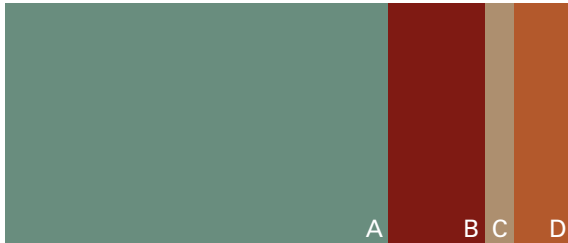
TRIM AND ACCENT

Rookwood Dark Green 2816
Rookwood Sash Green 2810
Rookwood Shutter Green 2809
Rookwood Dark Red 2801
Rookwood Amber 2817
Rookwood Terra Cotta 2803
Rookwood Medium Brown 2807
Rookwood Dark Brown 2808
Downing Slate 2819
Renwick Heather 2818

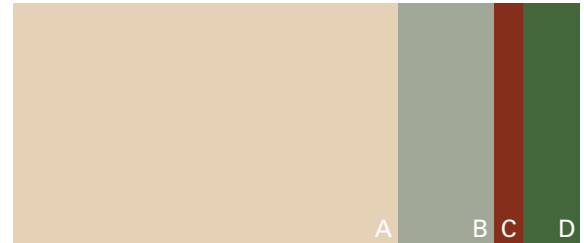
SASH COLOR :

Putty	Brown
Brick Red	Gray
Black	Hemlock
Dark Green	Tan

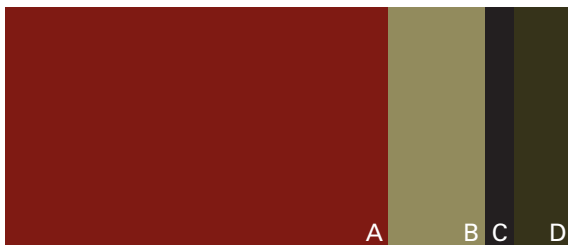
COLOR POSSIBILITIES



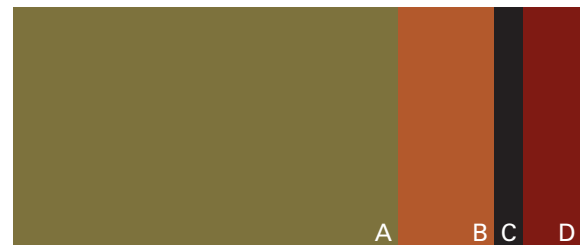
- A Body: Rookwood Blue Green SW2811
- B Major Trim: Rookwood Red SW2802
- C Sash: Putty
- D Accent: Rookwood Terra Cotta SW2803



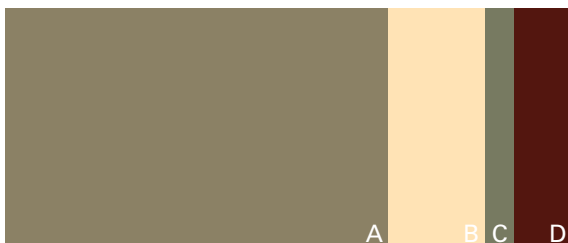
- A Body: Downing Sand SW2822
- B Major Downing Stone SW2821
- C Sash: Brick Red
- D Accent: Rookwood Dark Green SW2816



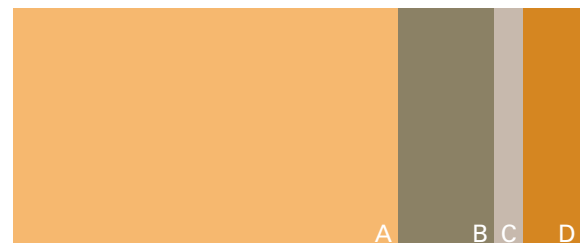
- A Body: Rookwood Red SW2802
- B Major Trim: Renwick Olive SW2815
- C Sash: Black
- D Accent: Rookwood Dark Green SW2816



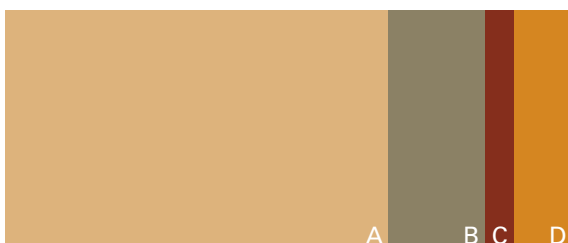
- A Body: Roycroft Brass SW2843
- B Major Trim: Rookwood Terra Cotta SW2803
- C Sash: Black
- D Accent: Rookwood Red SW2802



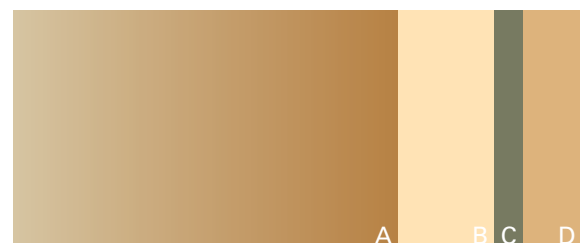
- A Body: Downing Earth SW2820
- B Major Trim: Ivoire SW6127*removed April 2018
- C Sash: Hemlock
- D Accent: Rookwood Dark Red SW2801



- A Body: Renwick Gold (custom mix)
- B Major Trim: Downing Earth SW2820
- C Sash: Gray
- D Accent: Rookwood Amber SW2817



- A Body: Downing Straw SW2813
- B Major Trim: Downing Earth SW2820
- C Sash: Brick Red
- D Accent: Rookwood Amber SW2817



- A Body: Natural shingle
- B Major Trim: Ivoire SW6127*removed April 2018
- C Sash: Hemlock
- D Accent: Downing Straw SW2813

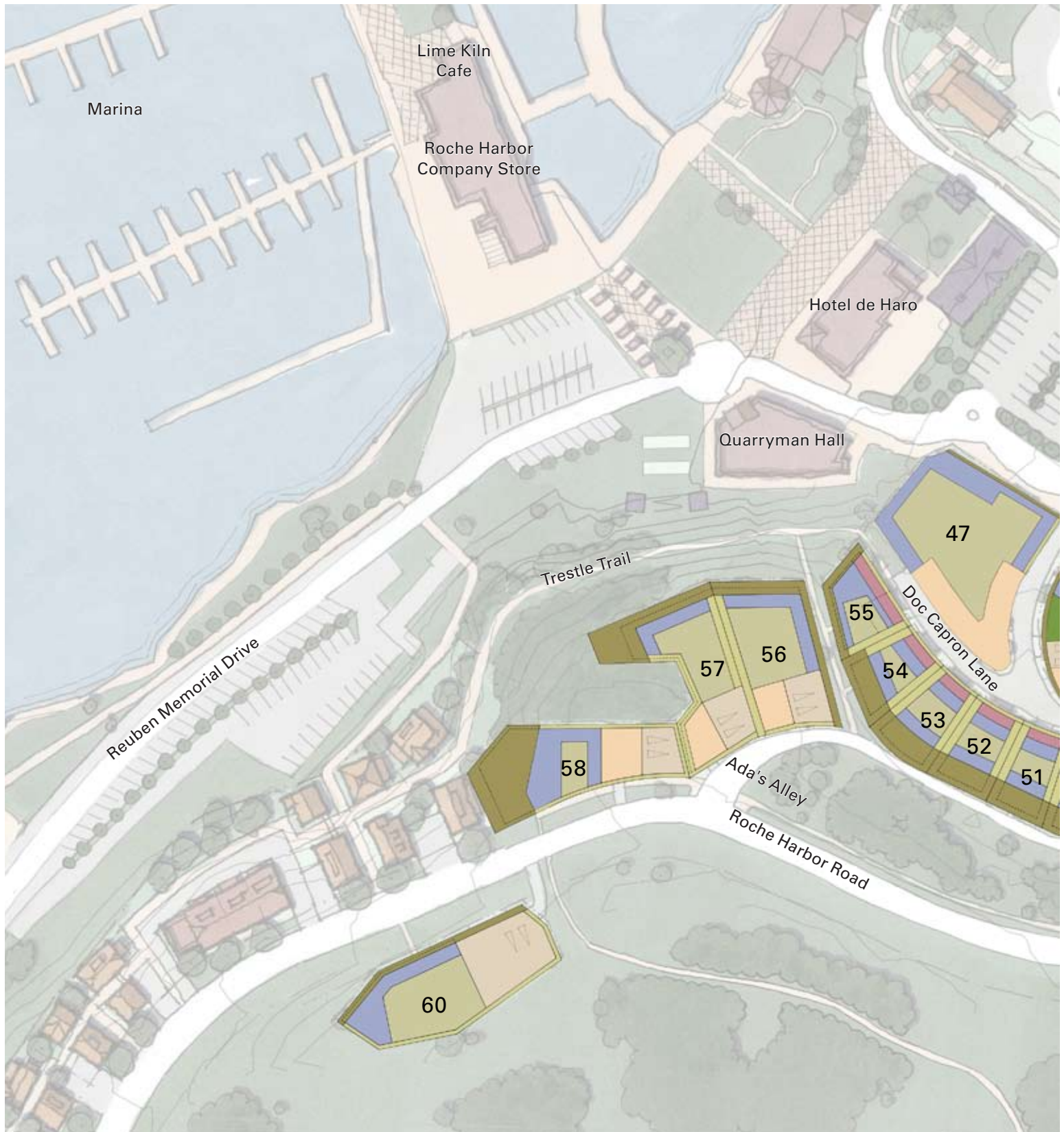


APPENDIX

LOT MATRIX

Lot No.	Address	Landmark	Lot Type	Front Yard	Side Yard	Garage Setback
15/16	Woodlands	yes	Carriage	3'	6'	3'
20	Woodlands		Cottage	13'	6' / 3'	3'
21	Woodlands		Cottage	20'	6' / 3'	3'
22	Woodlands		Cottage	20'	6'	3'
23	Woodlands		Cottage	20'	6'	3'
24	Woodlands		Cottage	20'	6' / 3'	3'
28	Woodlands		Cottage	12'	6'	3'
29	Woodlands		Cottage	12'	6'	3'
30	Woodlands		Cottage	12'	6' / 3'	3'
31	Woodlands		Cottage	12'	6'	3'
39	Cottages on the Green	yes	Carriage	6' / 8' / 14'	6'	N/A
40	Doc Capron Lane		Carriage	6' / 8'	6'	N/A
41	Doc Capron Lane		Carriage	6' / 8'	6'	6'
42	Cottages	yes	Cottage	13'	6' / 3'	3'
43	Cottages		Cottage	13'	6'	3'
44	Cottages		Cottage	13'	6'	3'
45	Cottages		Cottage	13'	6'	3'
46	Cottages	yes	Cottage	13'	6' / 3'	3'
47	The Marina		Attached Housing	3'	0' / 3'	N/A
48	Doc Capron Lane		Carriage	10'	6'	3'
49	Doc Capron Lane		Terrace	20'	6'	3'
50	Doc Capron Lane		Terrace	20'	6'	3'
51	Doc Capron Lane		Terrace	20'	6'	3'
52	Doc Capron Lane		Terrace	20'	6'	3'
53	Doc Capron Lane		Terrace	20'	6'	3'
54	Doc Capron Lane		Terrace	20'	6'	3'
55	Doc Capron Lane	yes	Terrace	8'	6'	3'
56	Captain's Row	yes	Bluff	5' / 10'	6'	3'
57	Captain's Row	yes	Bluff	10' +	6'	3'
58	Captain's Row	yes	Bluff	35' +	3'	3'
60	Captain's Row	yes	Bluff	6'	3'	3'

Approved Massing Types	Main Body Height (stories)	Garage Height (stories)	Comments and General Criteria
Tower House	1-3	1-2	Tower element encouraged
All approved types	1-3	1-2	
All approved types	1-3	1-2	
All approved types	1-3	1-2	
All approved types	1-3	1-2	
All approved types	1-3	1-2	
All approved types	1-3	1-2	
All approved types	1-3	1-2	
All approved types	1-3	1-2	
All approved types	1-3	1-2	
Tower House	3	N/A	Main mass to north side of site Front door faces west Tower element 2 story open porch on north and west facades Garage to southern half of lot
Tower House	3	N/A	Front door on southwest corner Garage on northern half of lot
Tower House	3	1.5 - 2	Front door on northwest corner Tower element encouraged Garage detached or attached via wing
Gable Front; L-Shaped	2	1	Parking access from Doc Capron 2 story open porch on north and east facades Garage on southeast corner of site Parking pad on southwest corner of site Dormer on west side
Gable Front	1.5	1	Dormer on west side encouraged
Gable Front	1.5	1	Dormer on west side encouraged
Gable Front	1.5	1	Dormer on west side encouraged
Gable Front	2	2	2 story open porch on north and west facades Dormer on west side
	2	N/A	
Tower House	3	N/A	
All approved types	2-4	N/A	Tower element encouraged
All approved types	2-4	N/A	
All approved types	2-4	N/A	
All approved types	2-4	N/A	
All approved types	2-4	N/A	Tower element encouraged Detached out building encouraged 2 story open porch on north facade encouraged
All approved types	2-4	N/A	
All approved types	2-4	N/A	2 story open porch on north and west facades Active facades on north, west, and south sides Garage located on northeast corner of lot
All approved types	2	2	Wing garage connector on northeast side of lot Tower element on northwest corner of house Active doors and windows/facades on north, west, and east sides
All approved types	2	2	Active doors and windows/facades on east and west sides
All approved types	3	2	Active doors and windows/facades on south, east and west sides Wings providing additional 40% first floor area permitted in Front Yard
All approved types	3	2	2 story open porch on west and north facades encouraged

*Roche Harbor Village Lotting Plan*



CARRIAGE LOT SAMPLE



Third Floor Plan



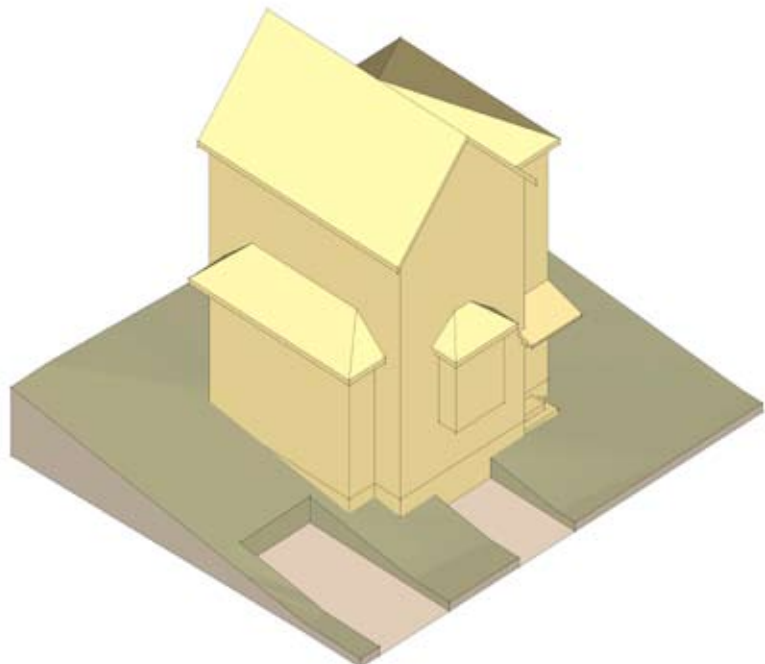
Second Floor Plan



First Floor Plan

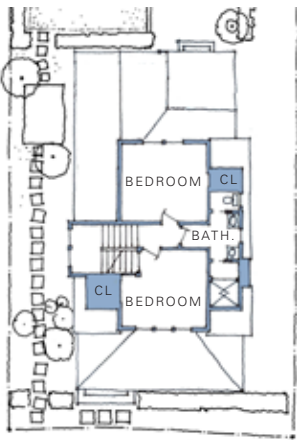


Elevation

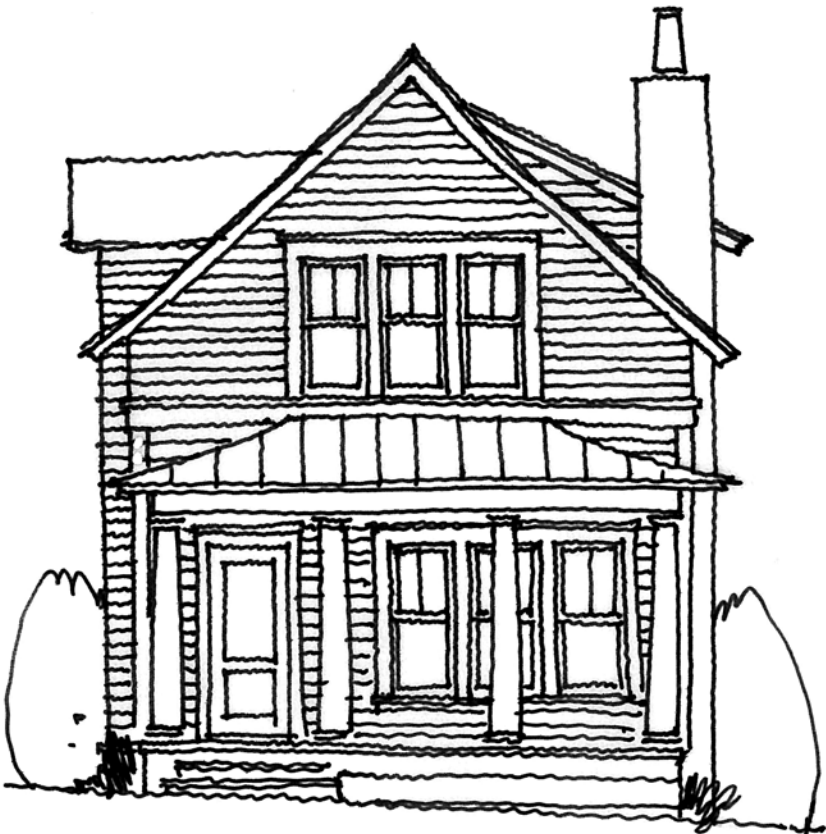


Assembled Building

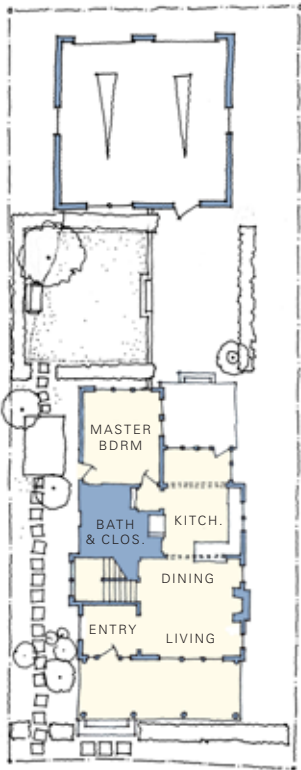
COTTAGE LOT SAMPLE



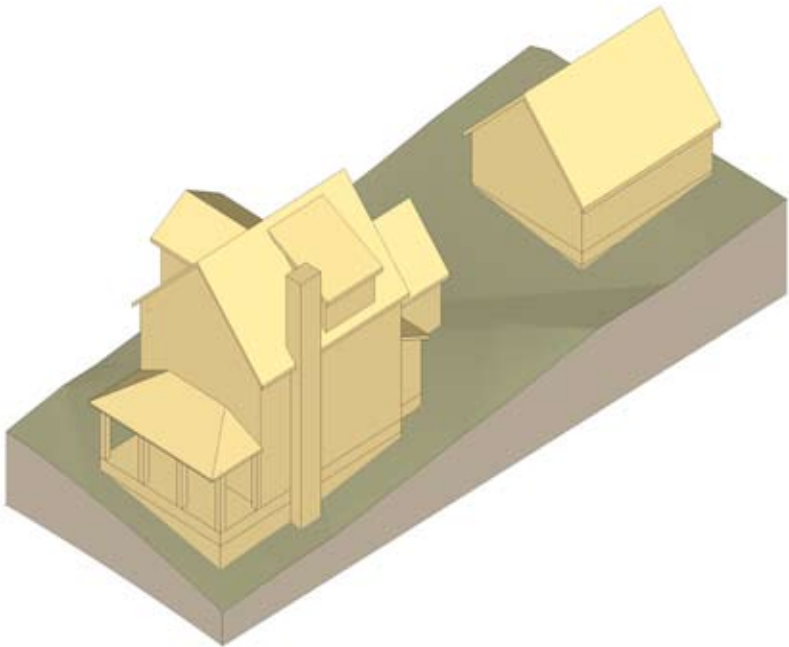
Second Floor Plan



Elevation

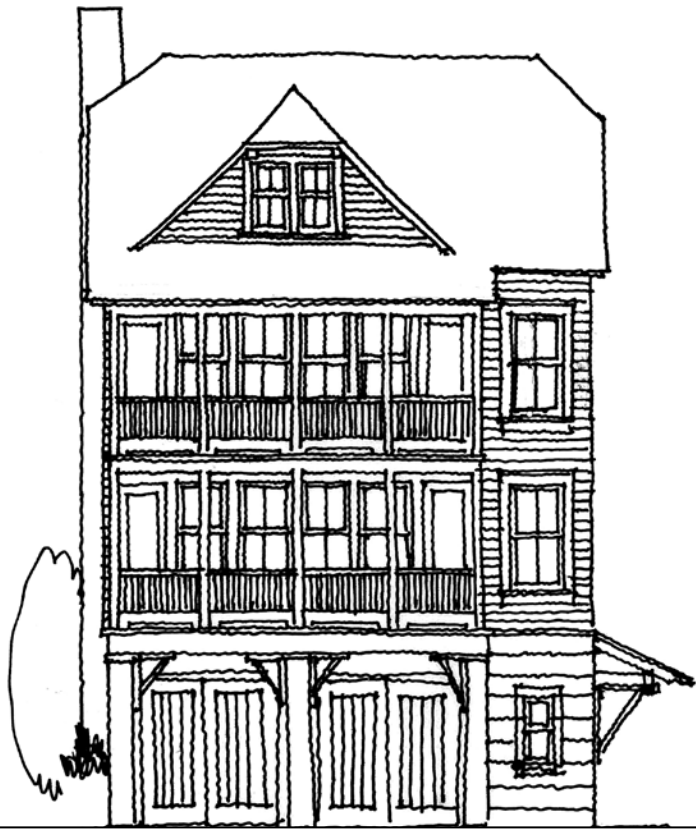


First Floor Plan

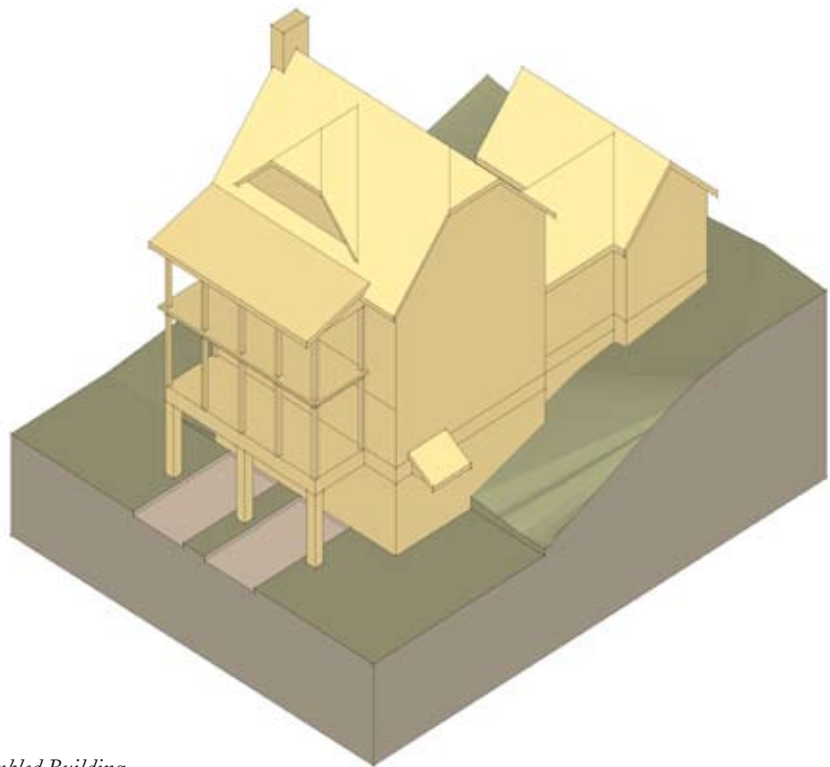


Assembled Building

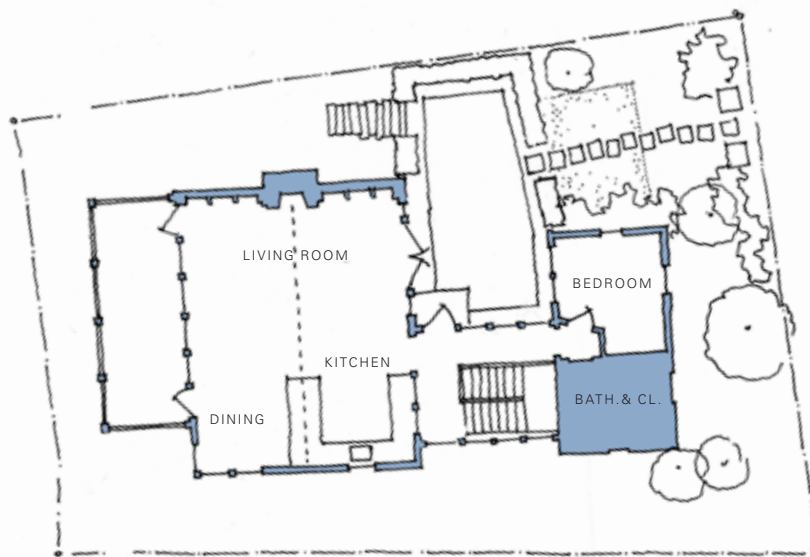
TERRACE LOT SAMPLE



Elevation



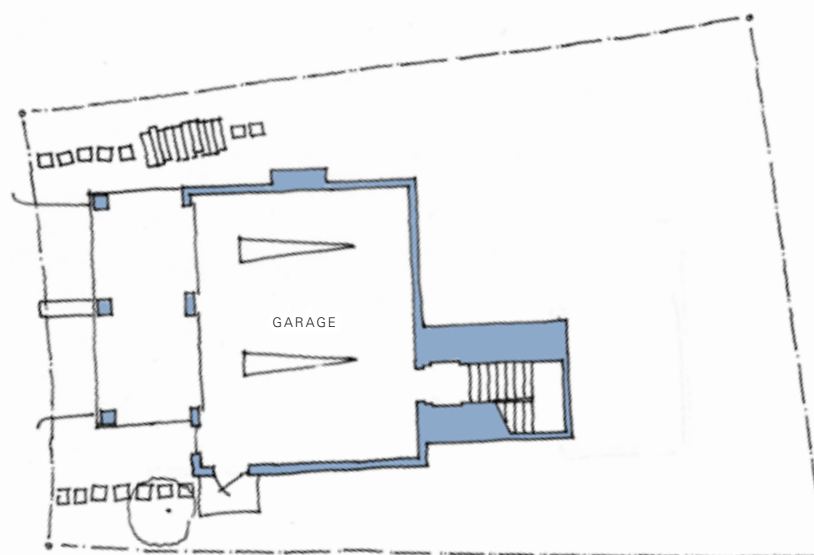
Assembled Building



Third Floor Plan



Second Floor Plan

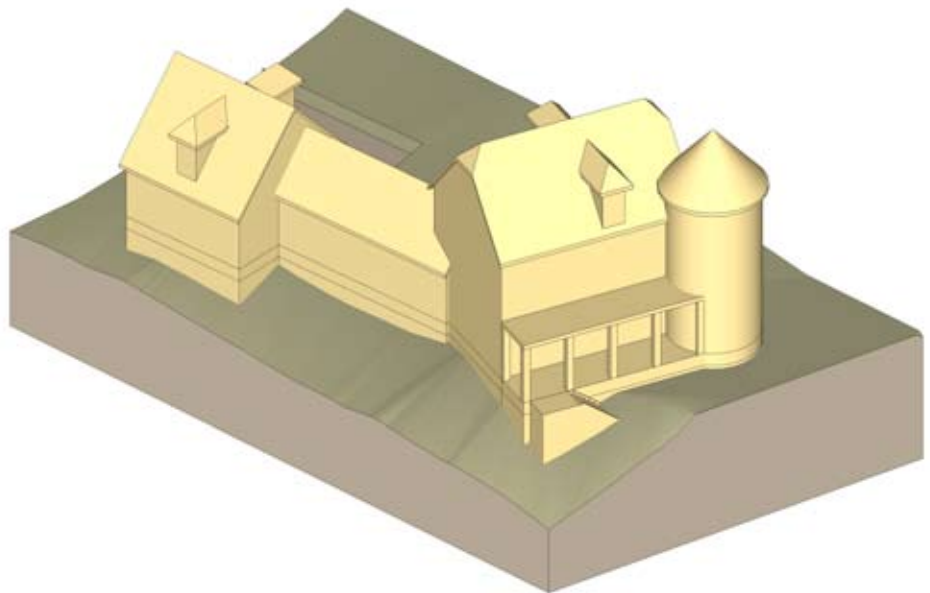


First Floor Plan

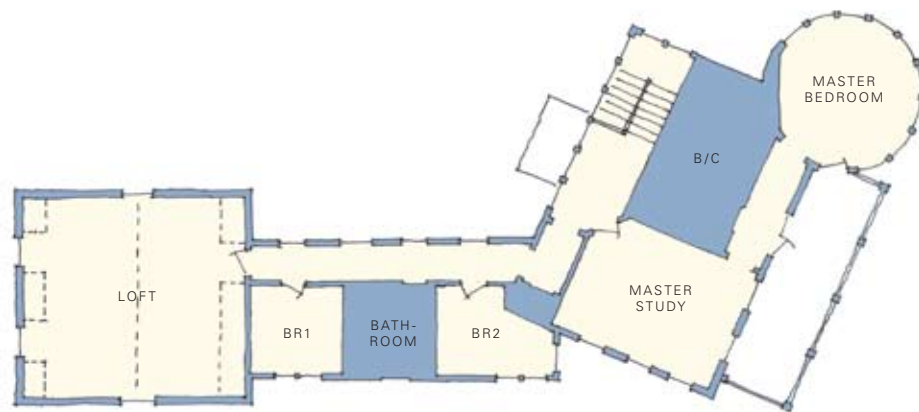
BLUFF LOT SAMPLE



Elevation



Assembled Building



Second Floor Plan

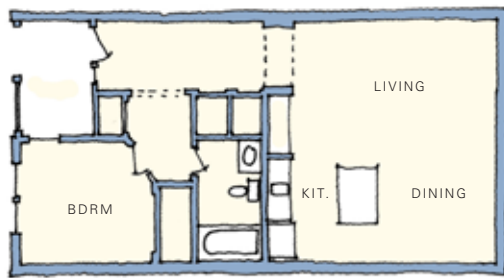


First Floor Plan

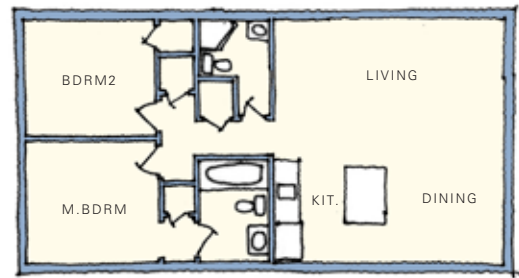
ATTACHED HOUSING SAMPLE



Elevation



Typical 1 Bedroom Unit Plan



Typical 2 Bedroom Unit Plan



Typical Floor Plan

PLEASE NOTE

- » The 2009 Roche Harbor Pattern Book is a modification to the Architectural Regulations of the Roche Harbor Design Code. This modification to the Design Code has been made by the Town Architect and approved by the Founder as authorized under section 3.4 of the Roche Harbor Master Deed Restriction document AFN # 200503170
- » All construction is subject to the San Juan County Building Code

These materials and the features and amenities described and depicted herein are based upon current development plans, which are subject to change or cancellation (in whole or in part) without notice.



Prepared by URBAN DESIGN ASSOCIATES